

135<sup>th</sup> YEAR ★ 1888-2022  
PRESCOTT FRONTIER DAYS PRESENTS

WORLD'S OLDEST RODEO



# PRESCOTT FRONTIER DAYS

Prescott, Arizona

VISION AND MASTER PLAN

December 2022





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December 5, 2022

To the Prescott Frontier Days Family:

On behalf of Norris Designs and Michael Taylor Architects, Priefert Complex Designs would like to thank Prescott Frontier Days Rodeo for entrusting our Team to take the first steps of this important project. We have strived to develop these concepts so that they can be implemented in phases.

Our Team has attempted to reflect Prescott's needs as communicated by stakeholders and has provided planning to make Prescott Frontier Days the preferred fairgrounds and rodeo for future events and rodeos. It has been an honor and pleasure to work with this group, and as this vision progresses, our Team stands ready to assist. If you have any questions in the meantime, please do not hesitate to contact us.

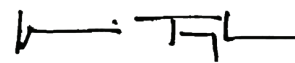
Respectively submitted,



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Norris Designs



Michael Taylor, AIA  
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## PROJECT TEAM/ORGANIZATIONAL CHART

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Travis Bard . . . . . 1888 Buckle Club  
Chris Corlett . . . . . 1888 Buckle Club  
Chris Graff . . . . . 1888 Buckle Club  
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Joe Baynes . . . . . City of Prescott/Recreational Services/Police/Fire  
Tom Knapp . . . . . City of Prescott Fire Department  
Ron Owsley . . . . . Vice President of Prescott Frontier Days  
Sheri Heiney . . . . . Prescott Chamber of Commerce  
Ann Stewart . . . . . Tourism Office  
Jon Brambila . . . . . City of Prescott Deputy Chief of Police  
Amy Bonney . . . . . City of Prescott Police Chief  
Rosie Darby . . . . . Yavapai County Fair  
Levi Darby . . . . . Yavapai County Fair  
Gary Warren . . . . . Yavapai County Fair



# ARCHITECTURAL RENDERINGS

- Master Plan Diagram
- Bird's-Eye Looking West
- Bird's-Eye Looking East

→ TAB



RENDERING: Master Plan Diagram



LEGEND

- 1 MULTI USE INDOOR ARENA
- 2 MULTI-PURPOSE PAVILION/  
MUSEUM & GIFT SHOP
- 3 OUTDOOR ARENA
- 4 1888 BUCKLE CLUB
- 5 BLUE MOON SALOON  
TIERED SEATING
- 6 ANNOUNCER BOOTH
- 7 BUCKING CHUTES
- 8 ROPING CHUTES
- 9 UPPER CONCOURSE
- 10 BLEACHER SEATING
- 11 PROPOSED RESTROOM
- 12 BLUE MOON SALOON
- 13 COMPETITORS SEATING
- 14 PROPOSED TURN LANE
- 15 JUSTIN ROOM
- 16 SECURITY, MEDICAL,  
CONCESSION
- 17 VENDOR TENTS WITH SHADE  
SHELTER
- 18 EQUIPMENT BARN



PRIMARY  
ACCESS



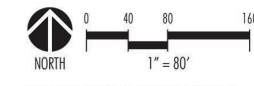
PROPOSED  
SIGNAGE



LANDSCAPE  
AREA



ANIMAL  
PENS



\*THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE



RENDERING: Bird's-Eye Looking West





RENDERING: Bird's-Eye Looking East





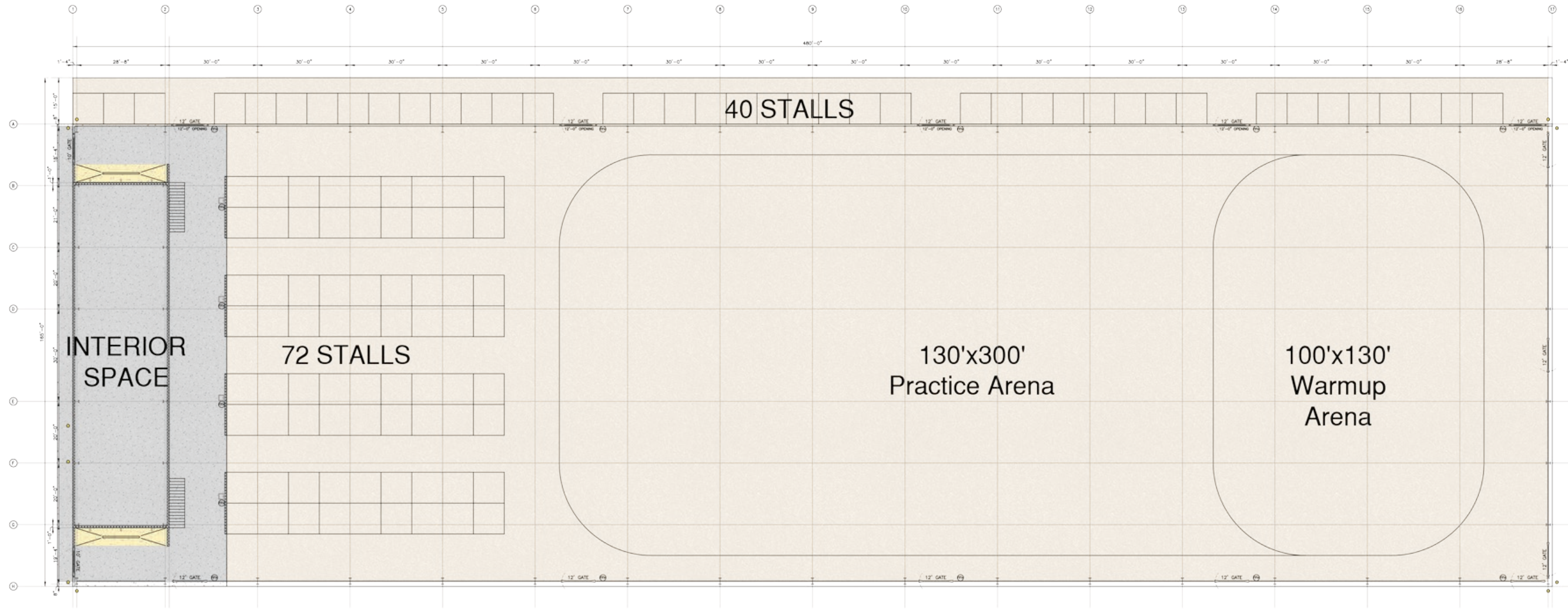
# ARCHITECTURAL PLANS

- Multi-Use Indoor Arena
  - Conceptual Plan
  - Elevations
- Main Outdoor Arena
  - Conceptual Plan
- Buckle Club
  - Conceptual Plan
- Multipurpose Pavilion/Museum/Gift Shop
  - Conceptual Plan
- Restroom Building
  - Plans
  - Elevations
- Equipment Barn
  - Conceptual Plan
  - Elevations

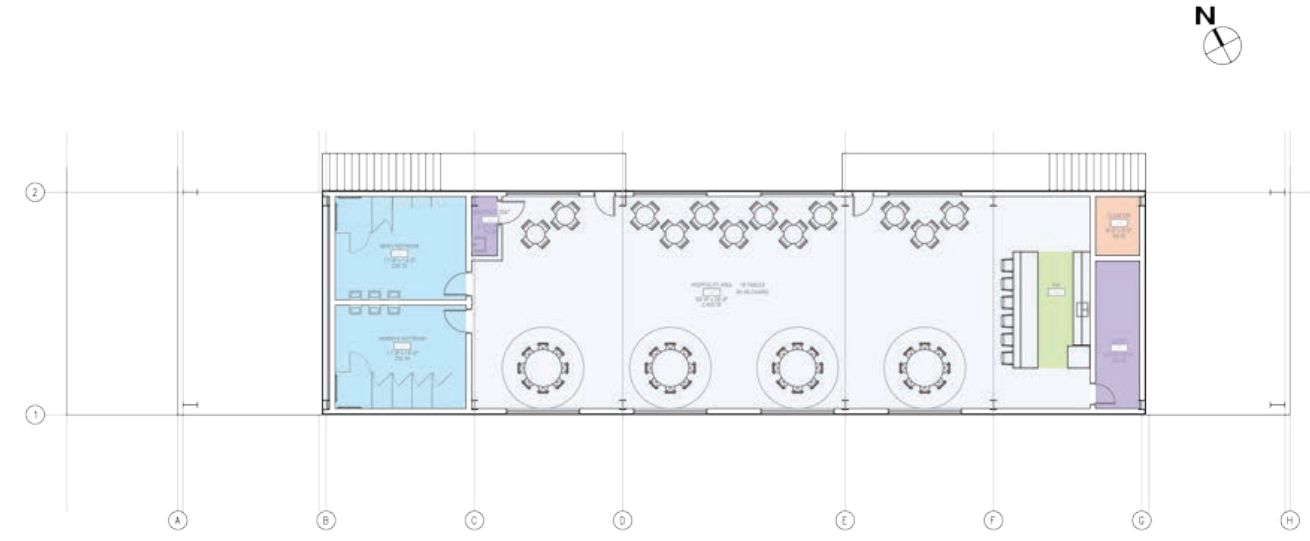




# ARCHITECTURAL PLANS: Multi-Use Indoor Arena Conceptual Plan

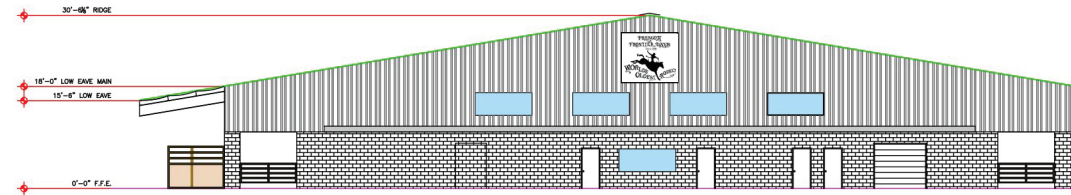


LEGEND	
	Dirt Floor
	Concrete Floor
	Closet / Storage Area
	Restrooms
	Bar / Kitchen Concession
	Wash Bays
	Office / Meeting Room

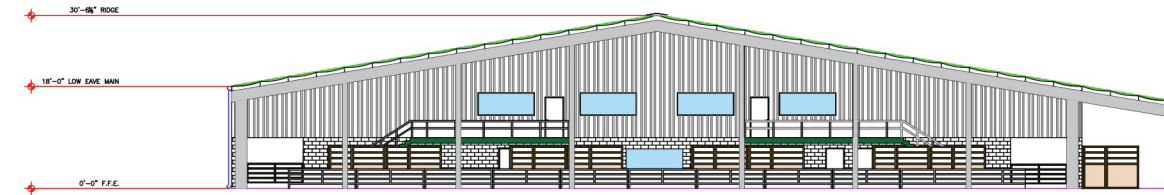




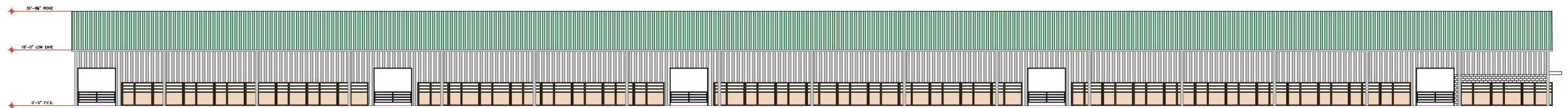
# ARCHITECTURAL PLANS: Multi-Use Indoor Arena Elevations



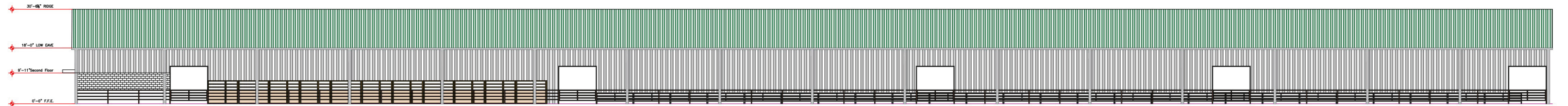
1 EAST ELEVATION



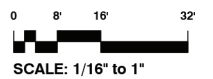
2 WEST ELEVATION



3 SOUTH ELEVATION

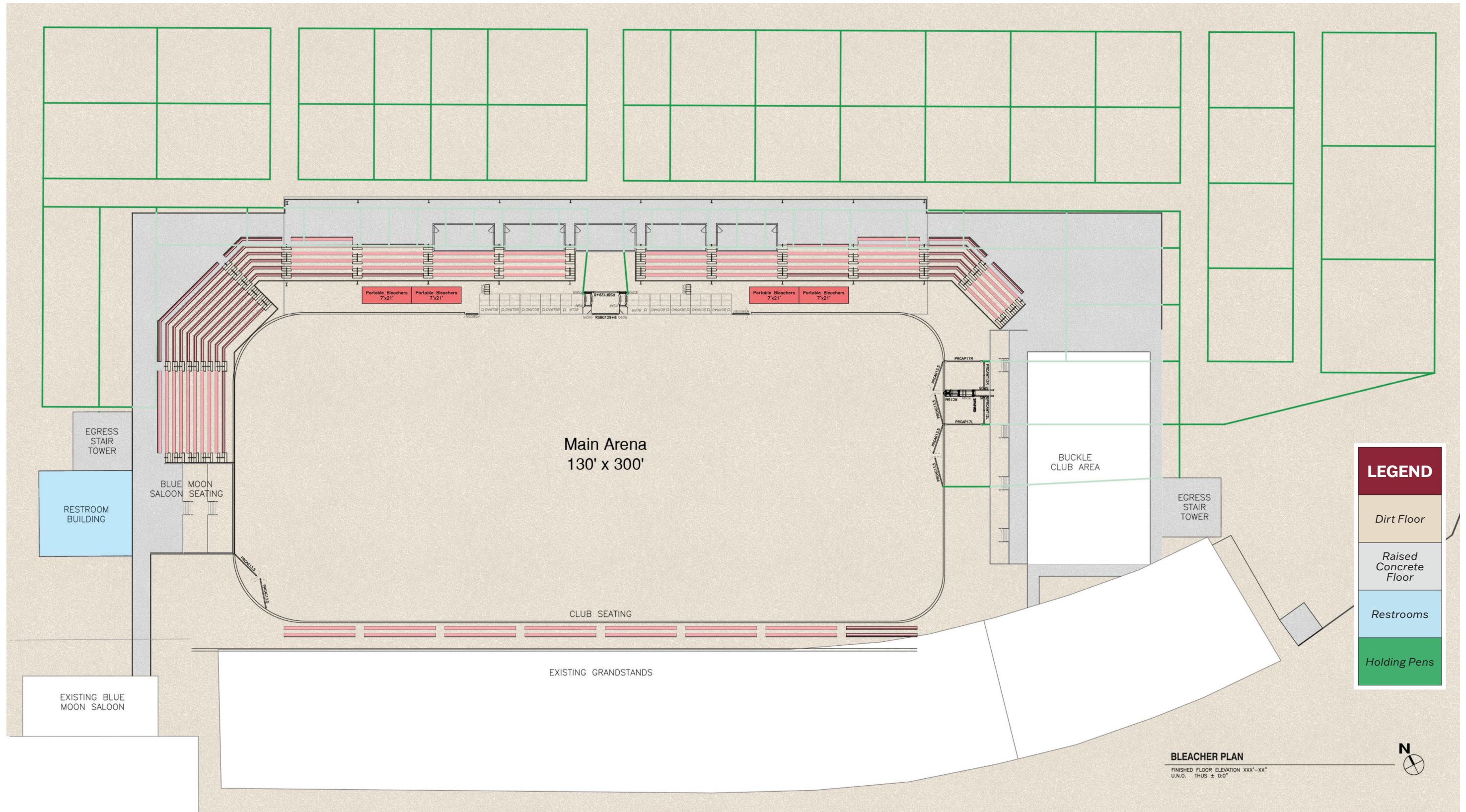


4 NORTH ELEVATION



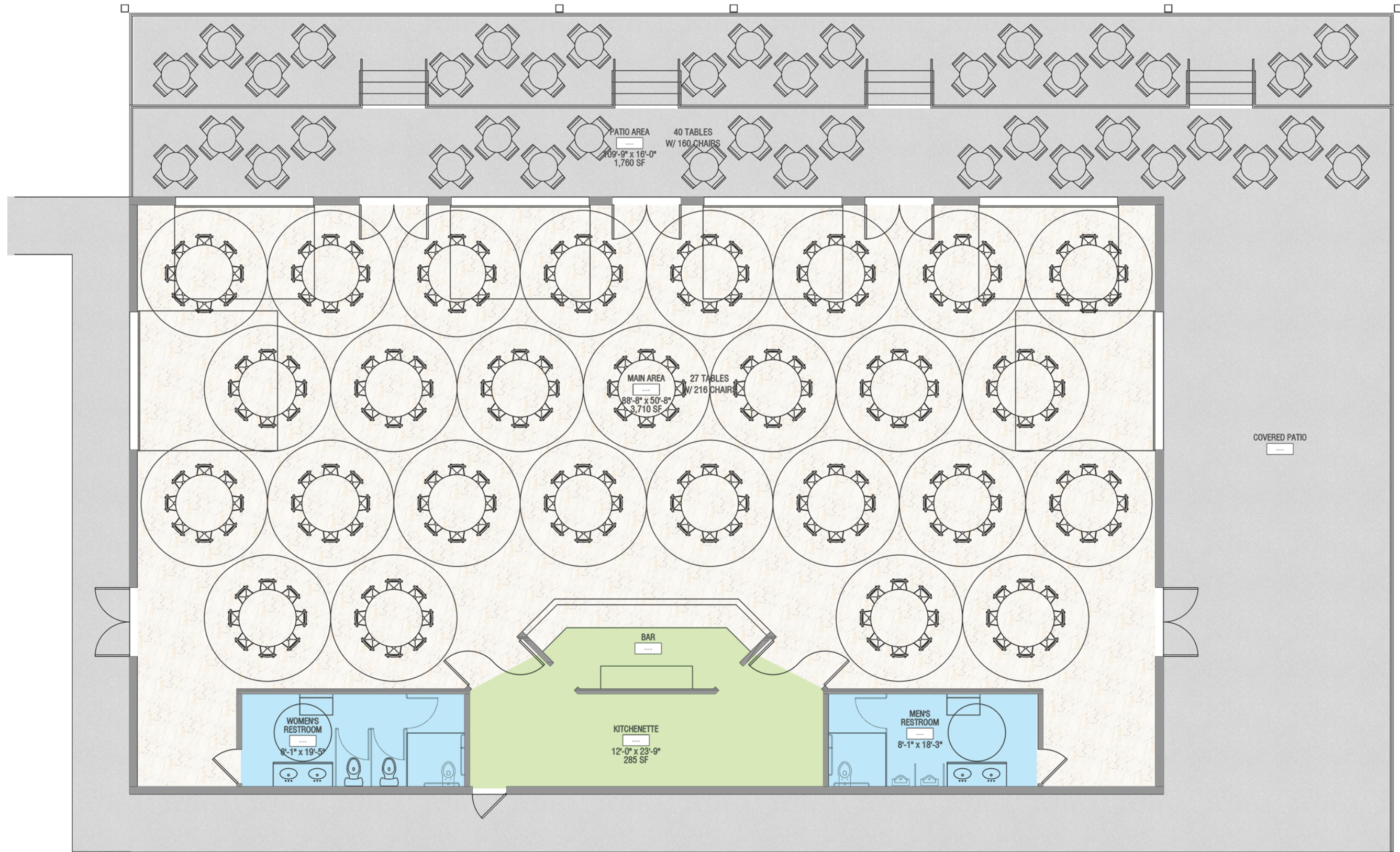


# ARCHITECTURAL PLANS: Main Outdoor Arena Conceptual Plan





# ARCHITECTURAL PLANS: Buckle Club Conceptual Plan

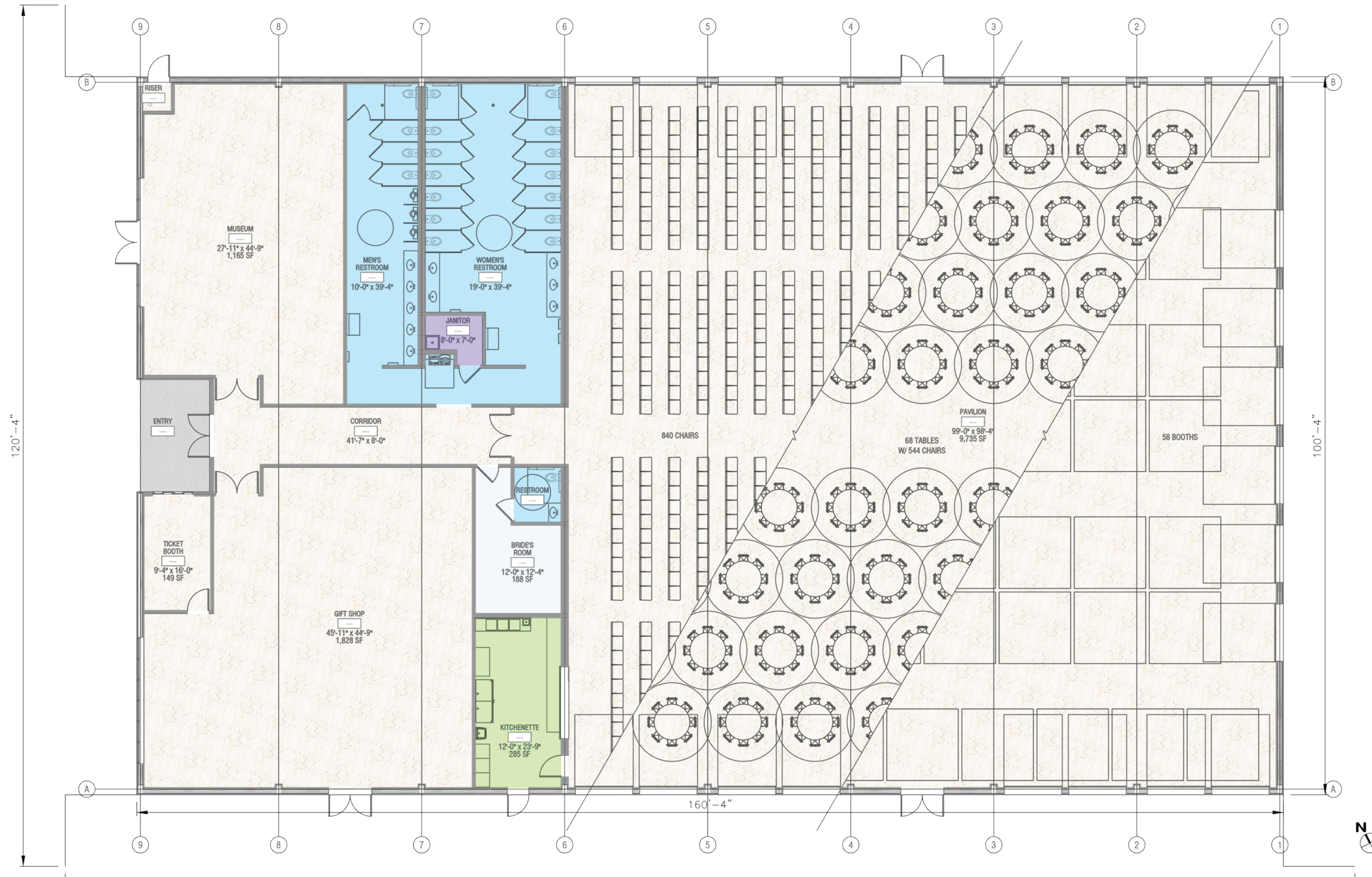


**LEGEND**

- Marble Concrete
- Concrete Floor
- Restrooms
- Bar / Kitchen Concession



# ARCHITECTURAL PLANS: Multipurpose Pavilion Conceptual Plan



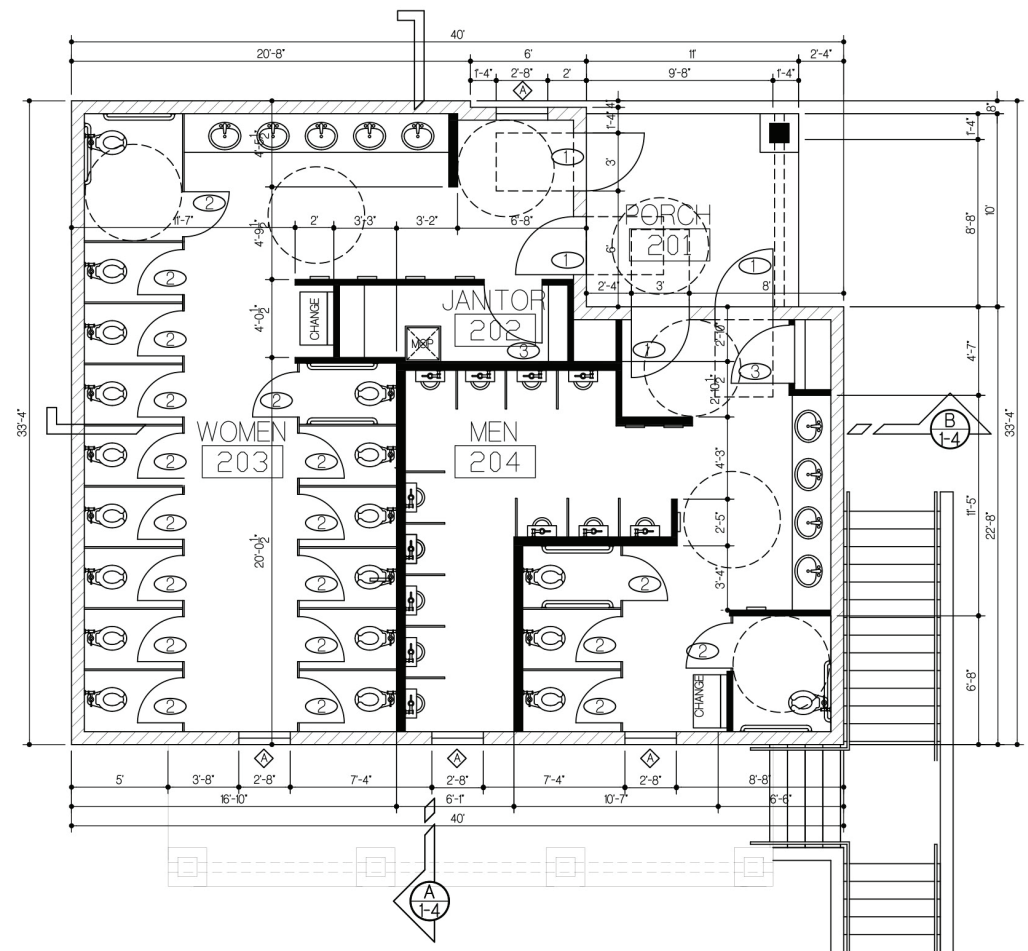
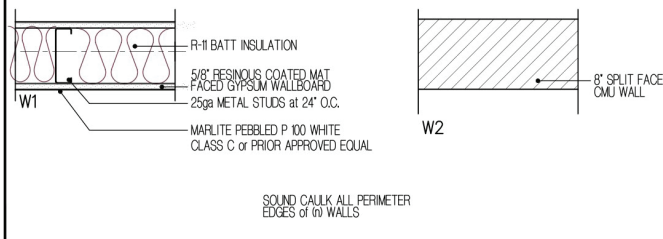
## LEGEND

- Stained Concrete
- Concrete
- Closet / Storage Area
- Restrooms
- Bar / Kitchen Concession
- Bride's Room

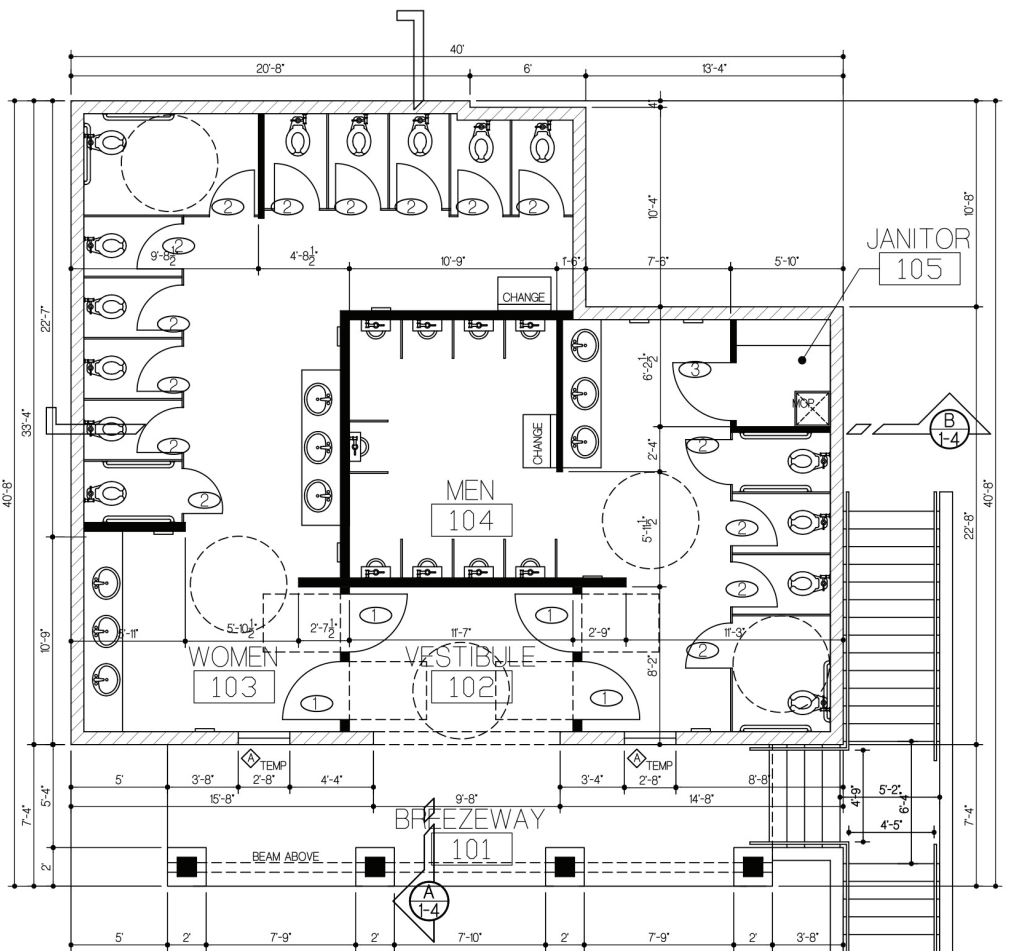


# ARCHITECTURAL PLANS: Restroom Building Plans

LEGEND		ROOM FINISH SCHED.		ABBREVIATIONS:		WALL TYPES		GENERAL NOTES	
OFFICE	ROOM NAME	NO.	RM. NAME	WALLS	FLOOR	CEILING	FT1	FT2	1. ALL DOOR OPENINGS: HINGE SIDE SHALL BE 6" FROM ADJACENT WALL OR DOOR CENTERED WITHIN WALL UNO. 2. MAINTAIN MIN. 18" CLEAR FROM ADJACENT FACE OF PARTITION TO PULL SIDE OF DOOR EDGE. 3. ALL INTERIOR SLABS TO BE "WATER CURED" SEE SPECS / NO CHEMICAL CURING ALLOWED UNO. 4. SEE ROOM FINISH SCHEDULE FOR PAINT COLOR LOCATIONS 5. ALL FINISH SAMPLES TO BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO ORDER & INSTALLATION 6. CONTRACTOR RESPONSIBLE FOR LEAD TIMES & INSTALLATION COORDINATION OF ALL INTERIOR FINISHES 7. PROVIDE ALUMINUM TRANSITION STRIP AT ALL FLOOR TRANSITIONS / FINISH SURFACES SHALL BE EQUAL & LEVEL / FLOAT FLOOR AS REQUIRED 8. ALL FLOORING TRANSITIONS SHALL BE LOCATED DIRECTLY UNDER THE CENTER OF THE DOOR WHERE OCCURS UNO.
114	ROOM NUMBER	01	BREEZEWAY	North	FT1	GB	FT1	FT1	
①	KEYNOTE	02	VESTIBULE	East	FT1	GB	FT1	FT1	
(e)	EXISTING	03	WOMEN	South	FT1	GB	FT1	FT1	
(n)	NEW	04	MEN	West	FT1	GB	FT1	FT1	
(r)	REPLACE	05	JANITOR	MTL	FT1	GB	FT1	FT1	
		06	PORCH	MTL	FT1	GB	FT1	FT1	
		07	JANITOR	FIN	FT1	GB	FT1	FT1	
		08	WOMEN	HT	FT1	GB	FT1	FT1	
		09	MEN	HT	FT1	GB	FT1	FT1	
		10	JANITOR	HT	FT1	GB	FT1	FT1	
		11	WOMEN	HT	FT1	GB	FT1	FT1	
		12	MEN	HT	FT1	GB	FT1	FT1	



2ND FLOOR



1ST FLOOR

SCALE: 1/4"=1'-0" FLOOR PLAN

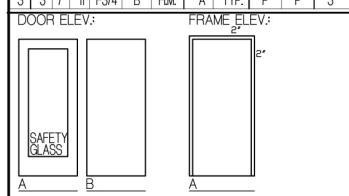
### WINDOW SCHEDULE

NO.	W.	H.	TYPE	FRAME	REMARKS
A	2'-8"	2'-8"	F.G.	AL	DUAL PANE / LOW E

- NOTES:  
 1. TYP. HEAD HEIGHT - 7' UNO.  
 2. FRAME MATERIAL: AL - ALUMINUM (BRONZE FINISH)  
 3. MFR. - KAWNEER OR EQUAL

### DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICKNESS	ELEVATION	MATERIAL	FINISH	DOOR	FRAME	HARDWARE
1	3'-7"	11'-3/4"	B	HM	A	TYP.	P	P	1
2	2'-4"	5'	T	B	HM	A	TYP.	P	2
3	3'-7"	11'-3/4"	B	HM	A	TYP.	P	P	3



1. DOOR MATERIAL: TYP. - SOLID CORE WOOD, HM - HOLLOW METAL, AL - ALUMINUM & GLASS, ALL - ALUMINUM, LC-LEAD CORE (MIN. LEAD THICKNESS 1/16"), ABS - ACRYLIC PLASTIC  
 2. FRAME MATERIAL: TYP. - HOLLOW METAL, SCW - SOLID CORE WOOD  
 3. DOOR FINISH: TYP. - S - STAINED, P - PAINTED TO MATCH WALL FINISH ON INTERIOR & MATCH STUCCO FINISH ON EXT., MB - MEDIUM BRONZE ANODIZED, PRE - PRE-FINISHED.  
 4. FRAME FINISH: TYP. - PAINTED TO MATCH ADJACENT WALL (COLOR FINISH: MB - MEDIUM BRONZE ANODIZED), P - PAINTED TO MATCH WALL FINISH ON INT. & MATCH CMU FINISH ON EXTERIOR, MB - MEDIUM BRONZE ANODIZED  
 5. MFR. - TRUDDOR OR EQUAL

### HARDWARE SCHEDULE

NO.	DESCRIPTION	QTY.	REMARKS
1	BUTTS	3	COMMERCIAL GRADE / STAINLESS STEELSS
2	LOCKSET	1	PUSH PLATE / GRAB HANDLE / DBL. CYL. DEADBOLT
3	CLOSER	1	TOP OF DOOR
2	BUTTS	1	PARTITION DOOR SYSTEM
3	LOCKSET	1	PRIVACY
3	BUTTS	3	COMMERCIAL GRADE / STAINLESS STEELSS
1	LOCKSET	1	BEST KEYED / LEVER / COMM. GRADE / SS

ADA ACCESSIBILITY  
 DOOR HARDWARE - TO COMPLY TO IBC & ADA  
 If this sheet is 11" x 17" all listed scales are 1/2 of the stated size

REVISIONS	BY

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**anderson architects**  
 480.389.1510



### 1st FLOOR PLAN DOOR & WINDOW SCHEDULES

3191 E 4th Street  
 Prescott, AZ 86313  
 302.203.0000

**Premier BUILDING GROUP**

Plan: mens / women's  
 Date: Dec 2021  
 Drawn: J. Anderson  
 Job: 2103  
 Sheet

.prescott rodeo grounds, city of prescott, az



# ARCHITECTURAL PLANS: Restroom Building Amenities & Utilities

**CHANGING STATION** ⑦

**HAND DRYER / PAPER TOWEL DISPENSER / SOAP DISPENSER** ④

**MIRROR** ①

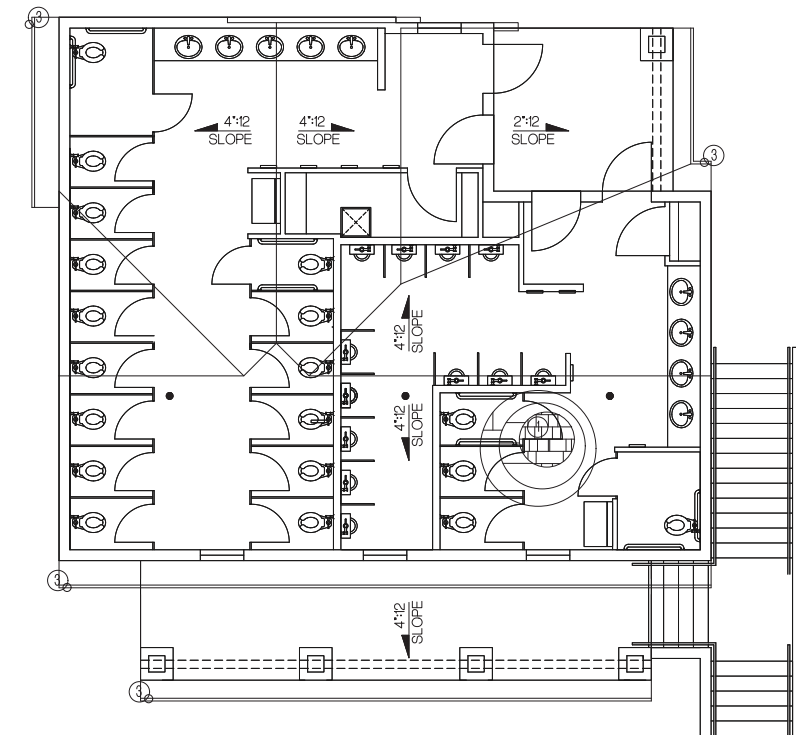
**URINAL** ⑧

**TOILET PAPER DISPENSER** ⑤

**LAVATORIES** ②

**GRAB BARS** ⑥

**TOILET STALLS** ③



SCALE: 1/4"=1'-0" ROOF PLAN

- KEYNOTES:**
- METAL ROOF per DO & BUILDER SPEC
  - ENTRY SOFFIT: STUCCO FINISH
  - GUTTER & DOWNSPOUT  
GREATEST ROOF AREA - 563 SQ. FT.  
563 SQ. FT. x 0.00079 = 0.448 GPM  
USE 1/2" x 2" S. OPE 1/4" DEEP FLT. GUTTER MIN. & 2" DOWNSPOUT w/ 2" OVERFLOW

REVISIONS	BY

**Premier BUILDING GROUP**  
 1811 E. Lake Street  
 Tucson, AZ 85713  
 520.203.0300

**anderson architects**  
 architecture • planning • engineering  
 480.389.1510

ROOF PLAN  
 PRESCOTT RODEO GROUNDS, CITY OF PRESCOTT, ARIZONA

• ALL PARAPET HEIGHTS LISTED ADJACENT TO PARAPET

**ROOF VENTING**

ROOF AREA	ROOF AREA	LOC. FEET BY	AREA	MINIMUM REQUIREMENTS
UPPER LEVEL	HIGH ROOF	100	130	6'6"
ROOF AREA	LOW ROOF	600	130	6'6"

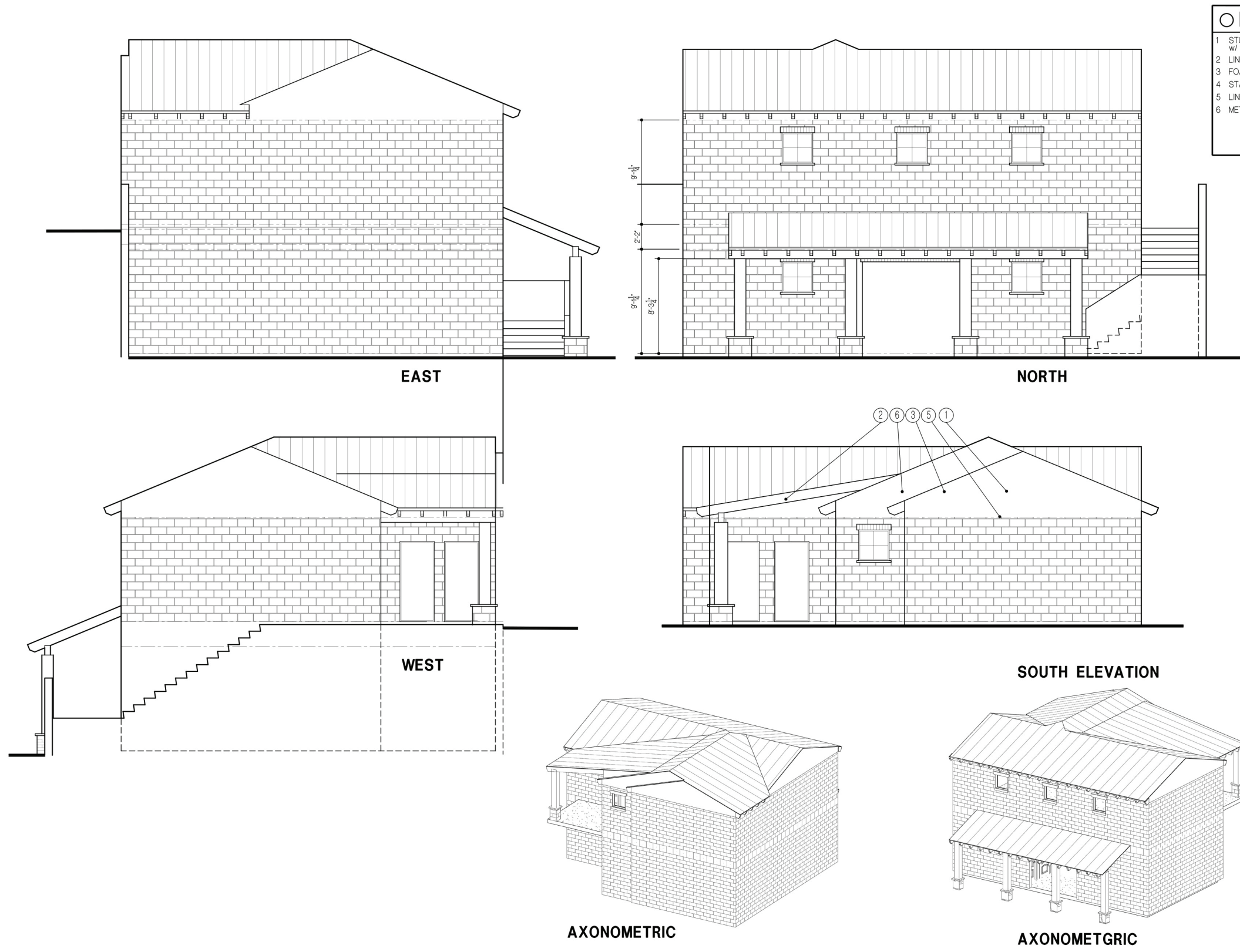
VENTS	TRIANGLE VENTS	4:12	5:12	6:12
A CHIMNEY VENT	0.08	0.78	1.18	1.72
B 8x8 ROOF VENT	1.46	3.30	4.42	7.30
C CRICKET VENT	0.40	5.21	5.62	9.00

**VENTING SYMBOLS**

- 8x8 ROOF VENT
- 6x4 CRICKET VENT
- CHIMNEY VENT



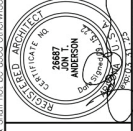
# ARCHITECTURAL PLANS: Restroom Building Elevations



- KEYNOTES:**
- 1 STUCCO FINISH (2-COAT SYSTEM or CMU) w/ T FOAM
  - 2 LINE of CEILING BEYOND (CENTERLINE)
  - 3 FOAM REVEAL per ELEVATION
  - 4 STANDING SEAM METAL ROOF per ELEVATION
  - 5 LINE of FLOOR BEYOND (CENTERLINE)
  - 6 METAL TRELLIS 2x6 ON-EDGE at 16" O.C. of MTL BM

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**anderson architects**  
 The Rising Construct.com  
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ELEVATIONS:  
 NORTH & SOUTH  
 AXONOMETRICS

3191 E 4th Street  
 Prescott, AZ 86305  
**Premier**  
 BUILDING GROUP

Plan	mens / women's
Date	Dec 2021
Drawn	J. Anderson
Job	2103
Sheet	1

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# ARCHITECTURAL PLANS: Equipment Barn Conceptual Plan

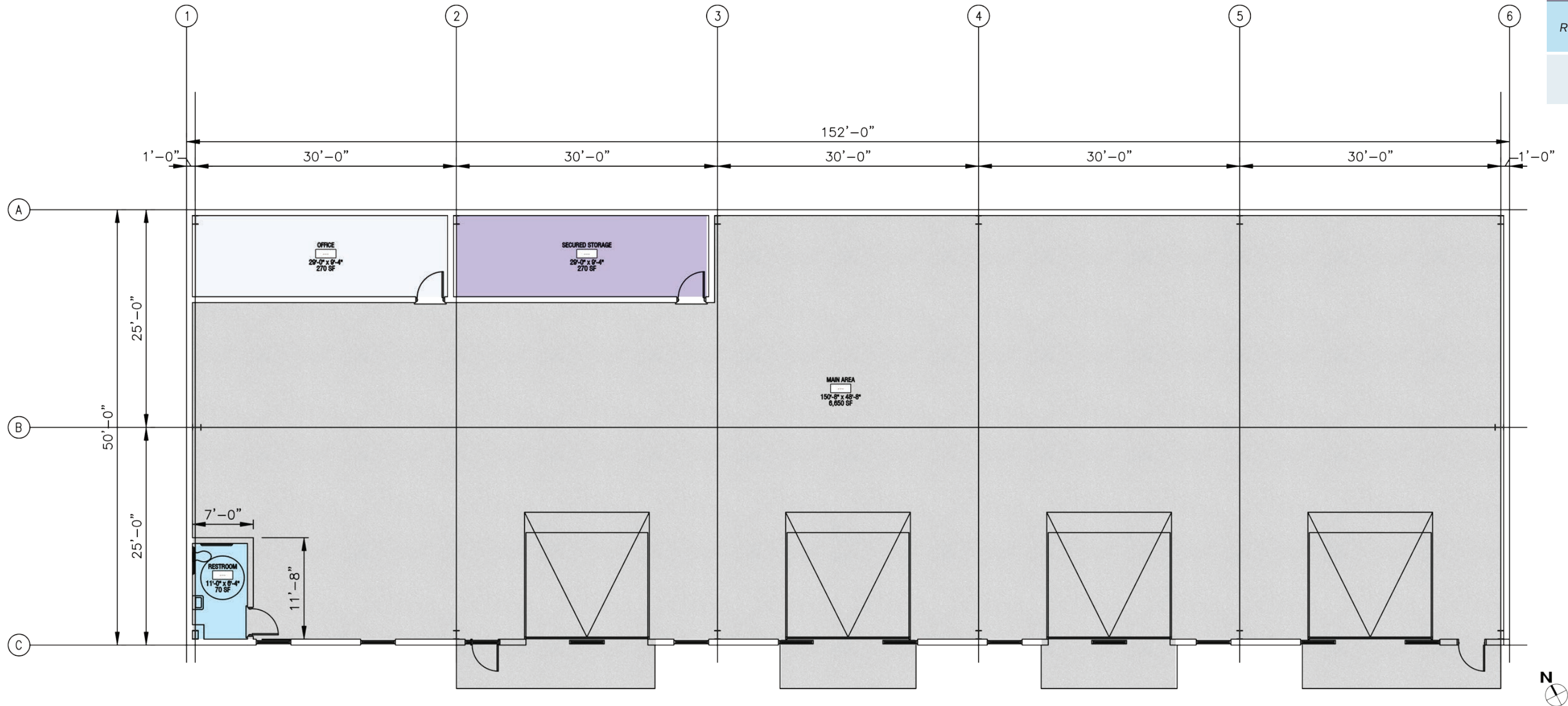
## LEGEND

Concrete

Closet / Storage Area

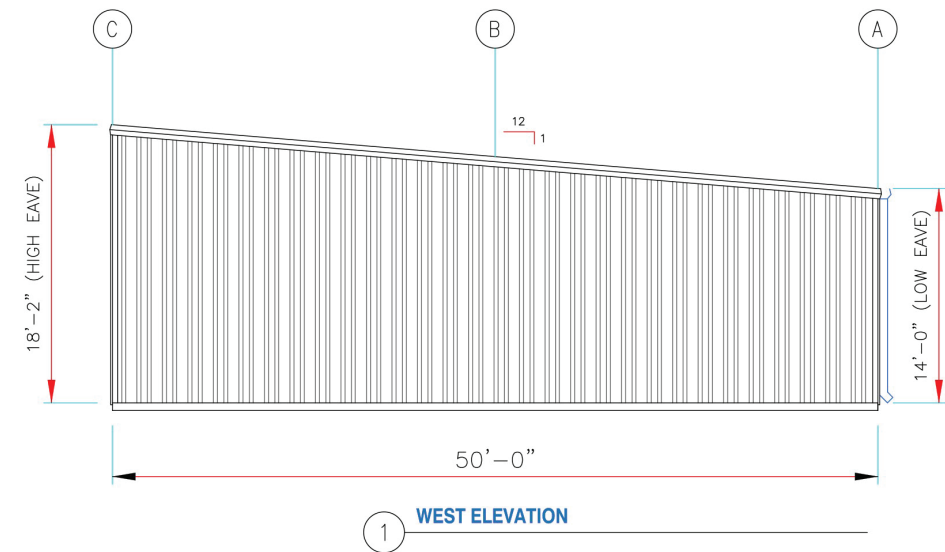
Restrooms

Office

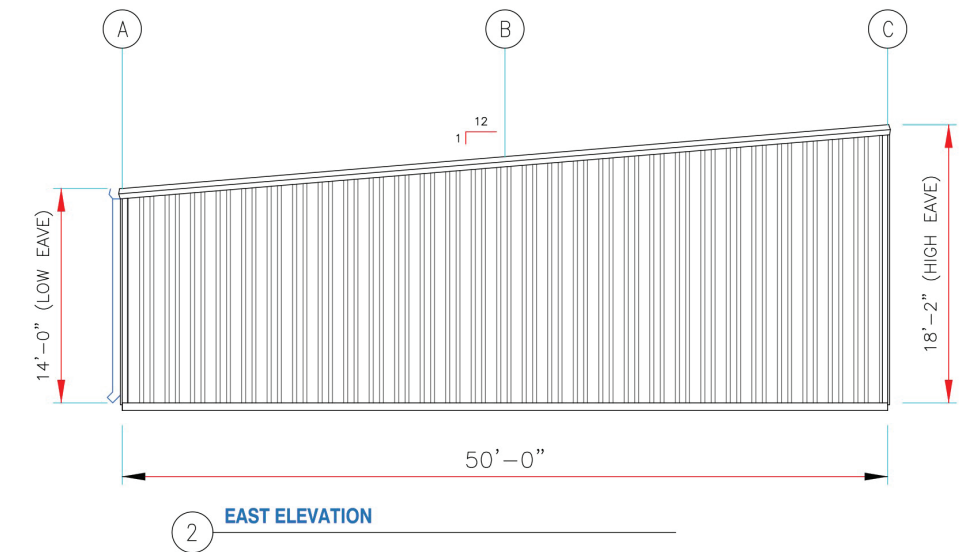




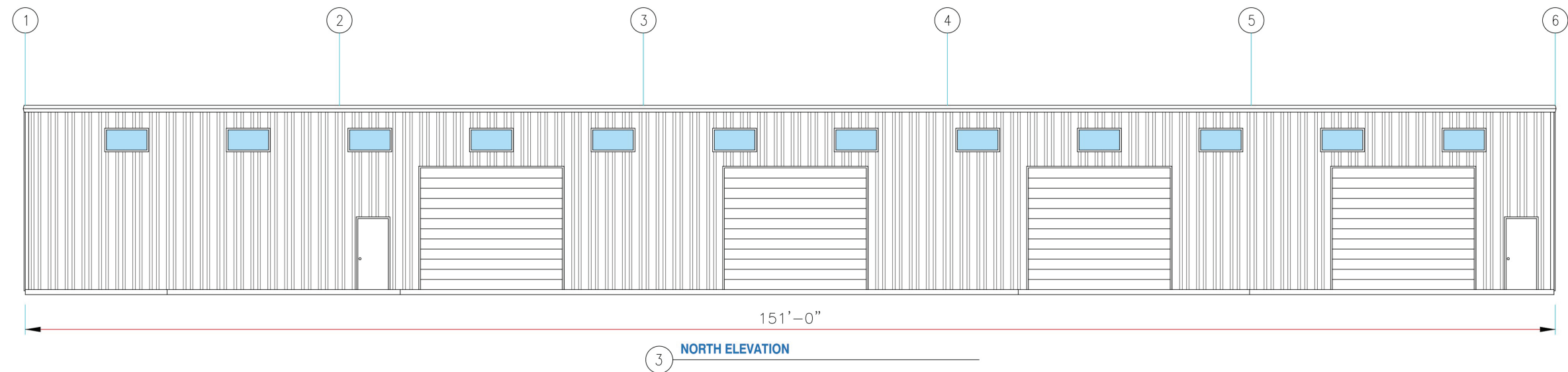
# ARCHITECTURAL PLANS: Equipment Barn Elevations



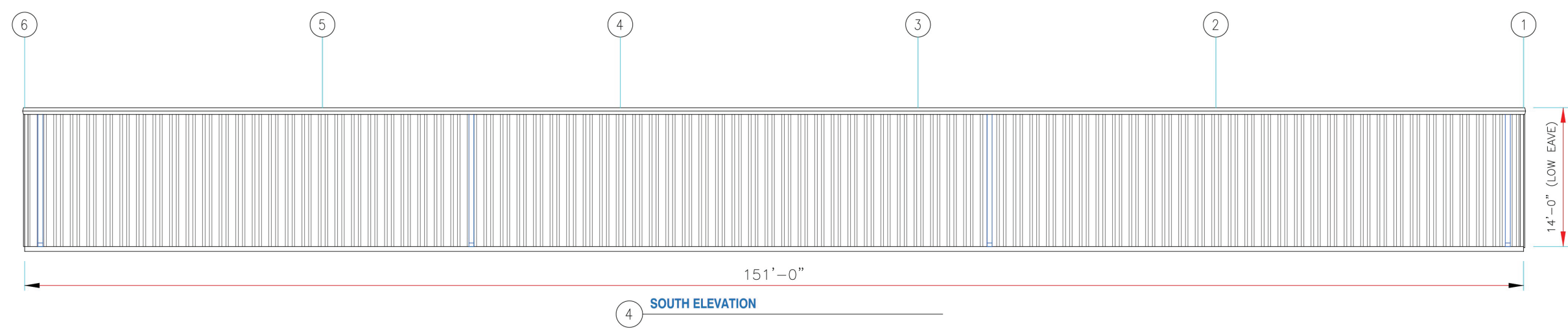
WEST ELEVATION



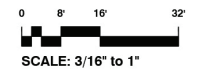
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION





# PROJECT NARRATIVES

- Site Civil Design
- Multi-Use Indoor Arena
- Main Outdoor Arena
- Buckle Club
- Multipurpose Pavilion/Museum/Gift Shop
- Restroom Building
- Equipment Barn
- Landscape



## PROJECT NARRATIVE

### SITE CIVIL DESIGN

Existing Utilities to be determined.

#### PAVING

The first 20 feet of the VIP Parking lot will be reinforced concrete to accommodate a line of handicapped parking spots spanning approximately 300 feet. This case will also occur in the Buckle Club Parking lot approximately 150 feet.

Additionally, it is proposed that reinforced concrete will be used in the surrounding area of the Multi-Purpose Pavilion and Vendor Area to connect with the Outdoor Arena Grandstands. Reinforced concrete pavement for the parking lots and drive aisles can be included as an alternate bid. Reinforced concrete will be less maintenance than gravel and generally has a nicer appearance, but costs significantly more.

The remainder of the VIP Parking lot will be primarily covered with asphalt to meet up with the existing asphalt along Rodeo Drive.

It is understood that general, Cowboy Country contestant, and Buckle Club parking lots and drive aisles will be covered in gravel or compacted flex base.

There are four proposed driveways. The driveway on the west will be the primary entrance/exit for guests arriving on Gail Gardner Way. It is understood that a turn lane will be required. The two driveways on the southeast side, off Rodeo Drive, will be gated and used for Buckle Club parking, contestant parking, and employee parking. Two access points onto Fair Street, will also be for general parking, contestant entrance and exit as well as employee parking.

#### DRAINAGE

Flow from the parking lot will be collected in storm water inlets and be routed via underground pipe to the northeast. The drainage between buildings will flow via well-defined drainage swales and will be mitigated appropriately so that peak runoff matches existing conditions.

The large building roofs provide an opportunity for rainwater harvesting. The water can be used for watering the arena, for dust mitigation on the site and for irrigation.

#### WATER

The proposed water system will connect to an existing city water line that runs along Gail Gardner Way. Water demands will be provided to Civil by the MEP.

#### SANITARY SEWER

A proposed connection point will be located on the west side of property along Gail Gardner Way. This system will consist of a minimum of three manholes capturing the sanitary sewer demand from the main buildings and will be gravity fed to a potential lift station, if required, at the northeast area of the property.

Sanitary sewer demands will be calculated after water demands are provided to Civil by the MEP.

#### EROSION CONTROL

The amount of disturbed area on this site is larger than five acres and is therefore considered a 'large' construction site. The contractor will be responsible for complying with Arizona requirements.

Silt fencing will be provided around the perimeter of the site. If concrete pavement is chosen by the owner and storm inlets are used, standard inlet protection will be provided.

A construction exit will be installed at the main construction entrance to prevent construction traffic from tracking mud onto City streets and State highways.

### MULTI-USE INDOOR ARENA

#### ARCHITECTURAL DESIGN

The Multi Use Indoor Arena will consist of a 75,200 S.F. covered arena for approximately 112 horse stalls and portable warm-up arena equipment measuring up to 130' x 300'. This space will include a two-story indoor office area on the west end of the building to provide a restroom for contestants, check-in office for events, a concession kitchen, storage space for rodeo supplies, and an upstairs hospitality area for entertaining. The number of stalls can be increased as demand increases. An increase in the building area dedicated to stalls will be balanced by a corresponding decrease in the area available for an arena in this building.

The pre-engineered metal building package will include exterior metal panels which will make up most of the exterior skin on the north and west walls while also wrapping around the upper portion of the office building. The east and south facing walls will be open with an R-panel skirt only. The first floor of the office portion will comprise of CMU exterior walls and provide an easy clean surface. Two heated wash bay areas are to be located on either end of the office building structure. This section will also have storefront framing and glazing for doorways and windows. Several large windows are designed on the second floor for extended views of the property and inside the arena. A proud Prescott Frontier Days logo sign can be attached at the gable of the building for perfect representation. A surrounding field welded fence will enclose the arena for safety purposes. There will be easy access gates at each entrance of the arena. A screw-down 24 gage metal panel is planned for the building's roof.

Access to the second story will be by two exterior staircases along the east internal wall with an extended balcony for viewing of the entire indoor arena. For accessibility, an elevator will be accessed on the first floor through the storage room for security purposes and opens in the corner of the hospitality area next to the kitchen area. This also provides easy access for bulk deliveries for upstairs.

Interior walls are to be stud walls with proper insulation. Spaces with lockable doors such as offices, restrooms, and hospitality rooms would include gyp board finished walls and paint to match a desired western atmosphere. All indoor areas will have painted gypsum ceilings and adequate lighting per space. Mechanical areas are planned for on the first floor with access from both sides of the building. The large hospitality area, approximately 2,400 S.F., on the second floor will include a kitchen/bar area, additional restrooms, and a closet for storage. These spaces will have appropriate floor finishes such as ceramic tile, vinyl plank, etc. which are yet to be determined. All other areas of the building will have a light broom finished concrete surface.

A metal wall liner panel is planned to span from the floor elevation to approximately eight feet above floor height along the north wall of the building. This north side of the structure will include an extended shed roof for additional covered space for horse stalls while the west side will include a continuous awning over all openings.

The majority of the building will have exposed structure. Structural columns are planned to receive paint to approximately ten (10) feet above floor level to limit smudging and to provide a cleanable surface.

The arena floor will be dirt with one foot of multi-use equestrian footing material.

All restrooms, offices, concession space and hospitality spaces are planned to be conditioned.

All areas will be protected by a fire suppression system. Due to the openness of the building, this will be designed as a "dry" system.



## PROJECT NARRATIVE (continued...)

### STRUCTURAL DESIGN

This event facility will be designed and constructed using pre-engineered metal building systems consisting of bolt-together frames, roof purlins and wall girts. The north and west walls of the metal building are planned to receive a durable metal panel, while the south and east walls will remain open for cross ventilation. It is anticipated that the roof will be constructed with screw-down metal panels of 24 gage thickness. We currently anticipate shallow foundations to support the building structure, with a combination of grade beams and a slab on grade. All concrete slabs surrounding the office building will receive a light-broom finish. Areas designated for livestock and equestrian access will have material suitable for equestrian events or rodeo.

### MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, FIRE ALARM, ETC (MEP)

The mechanical room will house all required equipment for the building. A packaged air handler, single duct terminals, general exhaust fans, and galvanized ducting shall be installed in each room of the building as required. A new pad mounted transformer will be required provided by local electric company. Primary power will be fed underground from the west connecting with Gail Gardner Way. A main gear or exterior disconnect switch, step down transformers, and surge protection will also be provided for this building.

Illumination will consist of led light fixtures. Lighting control devices will consist of occupancy sensors and dimming switches. Exterior lighting shall be provided to maintain egress path illumination. Exterior lighting will be controlled by a programmable time clock and photocell sensor. Illuminated exit signs and egress lighting will be served by battery back-up at the fixture.

Receptacles will be used throughout the building. Electrical service to HVAC, Plumbing, Fire Protection, IT, and other Owner furnished equipment shall be provided including required disconnects and grounding requirements.

If required, the main components of a lightning protection system will be identified in the construction documents for bidding purpose only. A certified lightning protection contractor will design a complete working system per applicable codes to maintain a master UL listing of the existing system.

The fire alarm system will be a voice/strobe type system with public address capabilities. The system will include, a main control panel, remote annunciators, power supplies/boosters, notification devices, pull stations, and other devices to provide a complete system as required by code. A certified fire alarm contractor will design a complete working system in compliance with all applicable fire codes and City requirements.

The restrooms planned for the first floor will contain 6 water closets, 3 shower rooms, 4 sinks, and a janitors closet in the women's, and 2 water closets, 4 urinals, 3 shower rooms, and 3 sinks in the men's restroom. The hospitality area on the second floor includes 6 water closets and 3 sinks for the women's restroom, and 2 water closets, 4 urinals, and 3 sinks for the men's restroom. A janitor's closet with mop sink is located upstairs as well. The kitchen/bar area will have a sink available with possibly an ice maker.

There will be approximately 14 frost free hydrants within the arena area. Additionally, hose bibs will be located as needed on the exterior of the building and within the mechanical room. Heated fixtures will be used in the wash bays with a trench floor drain in both areas.

A standpipe will be located on the west exterior wall of the main building to service the dry sprinkler system. A riser closet will be located on the opposite side of the wall in the storage room.

Gas and fiber lines will be run to this building for data, internet and gas needs.

### EQUIPMENT

The Indoor Arena will have approximately one hundred twelve (112) new 10'x10' horse stalls. Stalls will have 3/8" HDPE panel for the stall bottoms set in heavy gage pipe. The practice arena will consist of 6-foot-tall panels to surround the 130'x300' area.

Field welded pipe fencing will enclose the indoor arena connecting to building columns. Approximately (15) 12' bull gates will be utilized around the arena for easy access.

### MAIN OUTDOOR ARENA

#### ARCHITECTURAL DESIGN

The Bleacher Structure is referred to the roof structure above the bleachers, announcer booth, and VIP suites, as well as the grandstand seating. This will sit opposite to the existing grandstands. The roof structure will span the length of the arena and cover six sections of bleacher seating. This will have a single sloped roof, sloping to the north and protrude beyond the arena to cover the bucking chutes as well. The low eave is approximately 27' above grade with a 1:12 slope consisting of a screw-down 24 gage metal panel. Every side of this structure will be open for guests to enjoy the maximum number of views. The underside of the structure will be painted white and have matching patio lighting to create the same bold presence of the original grandstands. Each column supporting the roof structure will evenly transfer loading down to the concrete foundation below grade level.

The bleachers surrounding the outdoor arena will have a continuous concourse along the backside of the seating. To access seating, guests will descend from the concourse towards the arena to reach their seats. The concourse will have a minimum width of approximately 8 feet for adequate guest circulation. The concourse corners on the north side of the arena will widen for options of additional tables, concession stands, etc.

Located at the west end will be a section for the Blue Moon Saloon. This section will offer three-tiered seating for event viewing. A connecting boardwalk to the Blue Moon Saloon makes access easy. Directly behind this section is a two-story restroom building (annotated below) accessible from the ground level and upper concourse. Two covered stair towers (west and east side of arena) will be available in case of emergency. The stair tower on the west side leads straight out to the vendor booth area and will be mounted with a Megatron screen.

Under the main bleacher structure there will be six VIP suites approximately 275 square feet each. These suites will have windows opening to the arena with a bar height counter for beverages. Additional tables and chairs provide more seating if needed. These spaces will contain in-suite lighting and electrical but are not planned to be conditioned.

The announcer booth will also be 275 S.F. with windows opening directly above the bucking chutes and centered on the arena.

Below the bleachers near the bucking chutes on the north side will be the Justin Room for medical emergencies and a staging space for contestants.

The bleacher layout allows for maximum space for livestock pens, alleyways, rodeo equipment, and contestant circulation. The lowest height below bleachers will be approximately ten feet to optimize space underneath. In front of the bleachers, on either side of the bucking chutes, will be existing portable bleachers for contestants. Livestock pens will be reconfigured from the existing pens on site. These pens will be open for spectators to see 'behind-the-scenes' at a rodeo event while keeping them at a safe distance. An open main alleyway will give access to the arena from the Multi Use Indoor Arena side for trucks or large quantities of livestock or riders. The roping chutes will be located on the east end of the outdoor arena with a similar alleyway access next to it. All bucking chutes, roping chutes, arrow pens, arena panels, and livestock panels will be reused from existing equipment.

The south side of the outdoor arena will reconfigure the existing paved lane. The wall separating the grandstands from the arena will remain. A five-foot walk space will run the length of the grandstands behind two rows of new Club Seating for front row viewing. A concrete stem wall with railing will separate the club seating from the arena to minimize blind spots while guarding spectators from arena action.

Portable bleacher units will be reused for contestant seating on either side of the bucking chutes.

#### STRUCTURAL DESIGN

The bleacher structure will be a single sloped roof, open on all sides. It is anticipated that the foundation will be a combination of underground continuous grade beams forming the perimeter and deep spread footings at each column location. Interior areas may be open to receive pea gravel to accommodate drainage or appropriate livestock material for pens.



## PROJECT NARRATIVE (continued...)

The underside of grandstands can be a space for competitors to prepare or can be used for vendor or storage space. The grandstand system will have an internal gutter to prevent spills under bleacher space.

### MEP

The grandstands will be protected by a dry sprinkler and fire alarm systems.

Frost Free Hydrants will be located under the bleachers in the livestock area as needed. The Justin Room will require a toilet and sink for basic medical uses. Otherwise, no other water sources will be required for this structure.

Additional fiber lines will be run underground to the announcer booth for data and internet purposes.

The main outdoor arena will have a concrete stem wall along the south side to protect club seating in front of the existing grandstands. The remainder of the arena will be constructed of 6-foot-tall paneling previously used.

All bucking chutes, roping chutes, and arrow pens will be existing equipment relocated as shown. Finally, the livestock pen layout and alleyways will need to be redesigned with existing panels and gates to fit the desired area.

### BUCKLE CLUB

#### ARCHITECTURAL DESIGN

The Buckle Club is approximately 8,000 S.F. under roof and 4,800 S.F. interior space. This pre-engineered, mono-slope metal building is designed to hold at least 400 spectators. The open deck facing the arena descends to a lower deck for front row seating above the roping chutes. This structure has a continuing concourse behind connecting the existing grandstands to the proposed bleachers. The building is to be supported 18 feet off the ground to allow for livestock and rodeo movement underneath.

Tall glass overhead doors can be opened for an outdoor experience. There is a 300 S.F. kitchen and bar area centered inside for spectators, flanked with a men's and women's restrooms. The roof extends to the north to allow for more seating or booth space opportunities.

Exterior finishes will be rustic and durable, comprised of metal panel and wood. A large "Prescott Frontier Days" sign will be mounted on the roof of the Buckle Club facing the arena to pay homage to the long history of the rodeo in Prescott.

#### STRUCTURAL DESIGN

The Buckle Club will have a complex structure due to its elevated structure. The structure is planned to be designed using pre-engineered metal building (PEMB) framing of Type II construction supported by shallow foundations. Based on drawings and notes provided by the design team, the PEMB manufacturer will provide all steel members to include primary (columns and beams) and secondary (girts and purlins) members as well as all connection bolts, sheeting, trim, doors, gutters, etc. It is anticipated that the roof will be designed and constructed utilizing standing-seam metal panels of 24 gage thickness. The foundation structure will be designed based on maximum loads determined from the loads and criteria below along with any additional applicable loads from the 2018 International Building Code. The foundation elements will consist of spread footings connected by a continuous grade beam forming the perimeter of the building. Refer to Architectural narratives for floor and wall finishes.

### MEP

The Buckle Club will require its own pad mounted transformer to cover all the lighting, speakers, powered TV's, kitchen equipment, emergency lighting and signs, and outdoor lighting. High-volume, low speed circulating fans will be dispersed throughout the inside and outside of the structure.

Fiber and gas line will need to be routed underground as needed.

The restrooms show 3 water closets and 2 sinks in the women's, and 1 water closet, 2 urinals, and 2 sinks in the men's. The kitchen will require a sink, dish washer, with an additional sink at the bar.

### MULTI-PURPOSE PAVILION/ MUSEUM & GIFT SHOP

#### ARCHITECTURAL DESIGN

The Multi-Purpose Pavilion will include a museum, gift shop space and a main event hall, suitable for a variety of events. This pre-engineered metal building will have a gabled roof with a raised clerestory roof the length of the building for a classic barn aesthetic. Paved surfaces surrounding the building will connect the building to the outdoor sheltered vendor booth area and continuing to the grandstands. This will create a clean, level walking space for pedestrian circulation. The main entrance to this building will be from the west facing the guest parking lot and main park entrance. A welcoming landscape with overhead patio lighting is perfect for drawing in guests. A small ticket booth is conveniently located at the front for entrance. Storefront doors and glazed windows will be used throughout the building. Upon entering the building, the museum and gift shop flank a main corridor that leads to the main event hall. Restrooms and a separate dressing room are accessed through the hallway and are adjacent to the assembly and are also available for outdoor events.

The pavilion area is approximately 9,700 S.F. and large enough to house 58 vendors booths, 68 tables with chairs, or a complete seated auditorium of 750 chairs. Twenty-two glass overhead doors will surround the main pavilion for options to open the space up to the outdoors. A 300 S.F. kitchenette is located on the south side of the building with exterior access for outside catering.

The interior structure will be constructed of stud walls with gyp board finished walls and gypsum painted ceilings. Exterior finishes will be rustic and durable, comprised of metal panel, wood and stone.

#### STRUCTURAL DESIGN

The Multi-Purpose Pavilion will have similar structural concepts. We anticipate that each will be designed and constructed using pre-engineered metal building (PEMB) framing of Type II construction supported by a combination of slab-on-grade and shallow foundations. Based on drawings and notes provided by the design team, the PEMB manufacturer will provide all steel members to include primary (columns and beams) and secondary (girts and purlins) members as well as all connection bolts, sheeting, trim, doors, gutters, etc. It is anticipated that the roof will be designed and constructed utilizing standing-seam metal panels of 24 gage thickness. The foundation structure will be designed based on maximum loads determined from the loads and criteria below along with any additional applicable loads from the 2018 International Building Code. The foundation elements will consist of spread footings connected by a continuous grade beam forming the perimeter of the building. Refer to Architectural narratives for floor and wall finishes.

### MEP

The Multi-Purpose Pavilion will start with a pad mounted transformer outside located on the north side of the building. Additional step-down transformers, surge protectors, receptacles, breaker panels, etc. will be required per local code and installed by professionals.

All lighting will use LED fixtures for premium illumination and efficiency. All lighting control devices, sensors, emergency signage, exterior lighting, etc. will be included in the project design.

The building will be protected by a dry sprinkler and fire alarm systems.

The entire building will be conditioned. High-volume, low-speed circulating fans are planned for the open pavilion area as well as the gift shop and museum rooms.

The plumbing fixtures will include a water heater and mop sink in the janitor's closet, a water fountain with bottle filling station in the main hallway, 2 kitchen sinks in food prep area, and a single toilet and sink for the private bathroom. The men's restroom will have approximately 4 water closets, 3 urinals, and 5 sinks. The women's restroom will consist of 14 water closets and 5 sinks. Floor drains will be centered in each bathroom and kitchen area.



## PROJECT NARRATIVE (continued...)

### RESTROOM BUILDING

#### ARCHITECTURAL DESIGN

The Restroom Building is a two-story structure measuring approximately 40' x 40'. The lower deck has a main central entrance into the two residing restrooms. There will be (4) exterior doors and (2) glazed windows to this entrance. The upper deck has a corner porch-like entrance to the facility whereas the lower deck will have an extended roof creating a breezeway at the entrance. There will be (4) exterior doors as well as (4) glazed windows on this floor. All walls will be covered with 5/8" gypsum board, painted, and with a 4" rubber base trim. The floors will be sealed non-slip concrete.

#### STRUCTURAL DESIGN

The Pre-Planned Restroom Building will consist of CMU exterior walls two stories high. On the lower deck are (4) 2'x2' columns supporting a covered roof to the entrance of the restrooms. Interior walls will be constructed of metal studs with R-11 insulation.

#### MEP

The power to this building will be fed from the main transformer pad also feeding the Multi Use Indoor Arena as well as the Bleacher Structure. This building will require adequate power to handle LED lighting throughout, emergency lighting and signage, water heaters, power receptacles, and exterior lighting.

All plumbing shall be designed and installed by professionals. Preliminary fixture counts are as follows: the women's first-floor restroom contains 11 water closets and 6 sinks, the first-floor men's restroom holds 4 water closets, 9 urinals, 3 sinks, and a janitor's closet with mop sink, the second-floor women's restroom has 15 water closets, 5 sinks, and a janitor's closet and mop sink, the second-floor men's restroom was designed for 4 water closets, 12 urinals, and 4 sinks. Required water heaters will be in the janitor closets with appropriate cleanouts and shutoff valves. Floor drains will be located as needed for each room. All plumbing fixtures will be in compliant with the Americans with Disability Act.

A fire alarm and a fire suppression system will be present in the building with additional notification devices, pull stations, and other required devices according to local code.

### EQUIPMENT BARN

#### ARCHITECTURAL DESIGN

The Equipment Barn is a 7,550 square foot pre-engineered metal building with a single sloping roof to the north. The walls would be comprised of the standard pre-engineered metal building girts with exterior metal panels and insulation. A concrete floor is planned throughout the structure. Inside there are two lockable storage closets approximately 270 S.F. each and a single unisex restroom. Windows along the south facing wall will supply natural light above four large overhead doors for easy access to equipment. A grade beam and footing foundation will receive and support the metal panel walls and structural elements.

#### STRUCTURAL DESIGN

The equipment storage building will be designed and constructed using pre-engineered metal building systems consisting of bolt together frames, roof purlins and wall girts. The walls of the metal building are planned to receive a durable metal panel. A screw down, 24-gauge metal panel is anticipated for the roof. We currently anticipate shallow foundations (spread footings) to support the building structure, with a combination of grade beams and a dirt floor. This structure will house two closets and a restroom. The entire area will be slab-on-grade with a light broom finish.

#### MEP

The Equipment Barn will have power routed underground from the direction of the Indoor Arena. This building will require a power box, indoor LED lighting, power receptacles, outlets to power a welder, emergency lights and signs, and potentially motorized overhead doors. Lights, outlets, data line and internet connection will be required in the (2) closet rooms for potential future offices. The single restroom will contain a toilet and sink with a floor drain.

### SITE LANDSCAPE DESIGN

The Design team established a series of priorities to arrive at the current site design while taking current site constraints into consideration.

The site and landscape design brings forth authentic details seen throughout the Prescott area region and traditional Arizona ranch living. The experience is regionally inspired and woven through the plan with nods to the local flora, Ponderosa Pine forests and unique geology. The integration and improvements enhance this historic and unique cornerstone of the community. Street trees line the site along with areas of water wise landscape and turf in high use pedestrian areas. New signage is proposed with improved wayfinding, new LED announcement marque along with traditional ranch/rodeo style signage. An expansive arched ranch gateway flanked by tree wind rows welcomes and directs you to the ticket/museum entry. The design includes large local boulders, grasses and perennials accenting the event goers experience. Patrons can continue to interact with the arena and livestock pens, but a safer separation is encouraged through the repositioning of site-specific elements, walkways, parking, new buildings and user group areas. All the elements combine to create a very usable and flexible space for an array of event types in addition to the Rodeo. When seen on TV, people will know where the event is being held and those who attend in person will never forget the experience. The design and layout offer flexibility for multiple uses in addition to the primary one as World's Oldest Rodeo. These include the fair and carnival, weddings, art and crafts shows, special events, conventions, auctions, etc. The historical grandstands are preserved and enhanced through the integration of the site elements and additional seating areas.

Several overarching goals were utilized to help drive the site design.

- **Goal #1:** Promote a manageable and effective multi-use space for participants, spectators and staff.
- **Goal #2:** Promote transformational experience of rodeo and other on-site activities through design details while integrating and connecting to the Prescott community and history.
- **Goal #3:** Promote regionally appropriate site/landscape [ne]design for a beautiful and sustainable facility, requiring less resources to manage while conserving water.
- **Goal #4:** Preserve and enhance views and connections within the site to the arena, announcer's booth, and natural off-site surroundings including the rocky knoll behind the grandstands, Thumb Butte and Granite Mountain.

Connection to the World's Oldest Rodeo and the Arizona Ranch experience. Landscape is prioritized in key areas with details that enhance the history and sense of place with respect and integration of the old character with new modern and highly functional improvements. The grounds have nods to wind rows, mowed turf and hay fields, stone outcropping and plazas all accented with authentic textures and materials.

Enhance sense of arrival that engages the rodeo with the community and the rugged beauty of the land. Create a 365-day event space to encourage use and visitation further enhancing the economy and draw to Prescott. Once you enter the site, you are part of the story and the unique history of the rodeo life in northern Arizona and the west. The 'Sunset Plaza' entry into the museum building is both a unique pedestrian experience and strong way finding element with public art and interpretive signage proposed.

Outdoor event space. This area is set to be able to host a full range of vendor driven events connected to a wonderful indoor event hall. This flexible space will be great for seasonal events of all kinds including vendor space for the rodeo, carnival, farmer's market, conventions, community gatherings and weddings.

Vehicle parking. This flexible layout of parking allows for participants, staff, RV/Trailer, ticket holder and VIP parking to be easily directed, managed and maintained for effective parking and quick event turnaround. The parking layout is designed for maximum efficiency and flexibility with grouping user groups such as VIP, Buckle Club, vendors, participants and visitors into specific areas.



# PROJECT BUDGET

- Project Budget Summary
- Sitework and Utility
- Multi-Use Indoor Arena
- Main Outdoor Arena
- Buckle Club
- Multipurpose Pavilion/Museum/Gift Shop
- Equipment Barn
- Landscape





# PROJECT BUDGET SUMMARY

Project Cost Resources, Inc.

## Prescott Frontier Days - Concept/Schematic Estimate

### PROJECT SUMMARY

1-Dec-22

CSI	DESCRIPTION	Area	Main Arena 120000	Indoor Arena 79200	MP Pavilion 16000	Buckle Club 7480	Equipment Barn 7600	Site & Utility	Justin Room 400	West Restroom 3200	Landscape
01	General Requirements (in general conditions below)		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
02	Existing Conditions		\$ 50,000	\$ 40,000	\$ 20,000	\$ 10,000	\$ 16,000	\$ 100,000	\$ -	\$ -	\$ -
03	Concrete		\$ 484,000	\$ 436,600	\$ 212,800	\$ 96,950	\$ 121,072	\$ 3,681,994	\$ -	\$ -	\$ -
04	Masonry		\$ -	\$ 116,280	\$ -	\$ 25,200	\$ -	\$ -	\$ -	\$ -	\$ -
05	Metals		\$ 30,800	\$ 429,500	\$ -	\$ 716,400	\$ -	\$ -	\$ -	\$ -	\$ -
06	Wood, Plastics and Composites		\$ -	\$ 186,250	\$ 95,592	\$ 45,300	\$ 5,000	\$ -	\$ -	\$ -	\$ -
07	Thermal and Moisture Protection		\$ -	\$ 133,540	\$ 111,320	\$ 248,840	\$ 38,200	\$ -	\$ -	\$ -	\$ -
08	Openings		\$ -	\$ 84,900	\$ 149,500	\$ 178,350	\$ 37,100	\$ -	\$ -	\$ -	\$ -
09	Finishes (Interior)		\$ -	\$ 283,750	\$ 412,325	\$ 176,797	\$ 31,777	\$ -	\$ -	\$ -	\$ -
10	Specialties		\$ -	\$ 49,435	\$ 40,450	\$ 11,000	\$ 2,330	\$ 37,000	\$ -	\$ -	\$ -
11	Equipment		\$ 120,000	\$ 440,000	\$ 40,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
12	Furnishings		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
13	Special Construction		\$ 1,817,700	\$ 2,455,200	\$ 512,160	\$ -	\$ 196,400	\$ 30,000	\$ -	\$ -	\$ -
14	Conveying		\$ 220,000	\$ 110,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
21	Fire Suppression		\$ 167,206	\$ 328,800	\$ 64,000	\$ 29,920	\$ 34,200	\$ -	\$ -	\$ -	\$ -
22	Plumbing		\$ 10,000	\$ 152,780	\$ 167,590	\$ 44,160	\$ 40,950	\$ 750,360	\$ -	\$ -	\$ -
23	HVAC		\$ -	\$ 294,000	\$ 640,000	\$ 80,000	\$ 6,660	\$ -	\$ -	\$ -	\$ -
26	Electrical		\$ 232,196	\$ 1,703,600	\$ 460,000	\$ 219,440	\$ 110,400	\$ 1,595,300	\$ -	\$ -	\$ -
27	Communications		\$ 150,000	\$ 75,000	\$ 45,000	\$ 30,000	\$ -	\$ -	\$ -	\$ -	\$ -
28	Electronic Safety and Security		\$ 38,586	\$ 349,350	\$ 115,200	\$ 29,920	\$ 26,600	\$ -	\$ -	\$ -	\$ -
31	Earthwork		\$ 138,500	\$ 302,940	\$ 42,667	\$ 19,947	\$ 23,220	\$ 38,800	\$ -	\$ -	\$ -
32	Exterior Improvements		\$ 30,800	\$ 4,500	\$ 30,250	\$ -	\$ 3,000	\$ 264,000	\$ -	\$ -	\$ 457,611
33	Utilities		\$ 12,000	\$ 100,500	\$ 51,500	\$ 47,000	\$ 30,000	\$ -	\$ -	\$ -	\$ -
<b>Subtotal Construction</b>			<b>\$ 3,501,788</b>	<b>\$ 8,076,925</b>	<b>\$ 3,210,354</b>	<b>\$ 2,009,224</b>	<b>\$ 722,909</b>	<b>\$ 6,497,454</b>	<b>\$ 80,000</b>	<b>\$ 800,000</b>	<b>\$ 457,611</b>
	Design Contingency / Market	15.00%	\$ 525,268	\$ 1,211,539	\$ 481,553	\$ 301,384	\$ 108,436	\$ 974,618	\$ 12,000	\$ 120,000	\$ 68,642
<b>Subtotal</b>			<b>\$ 4,039,056</b>	<b>\$ 9,288,464</b>	<b>\$ 3,743,407</b>	<b>\$ 2,310,607</b>	<b>\$ 831,345</b>	<b>\$ 7,472,072</b>	<b>\$ 92,000</b>	<b>\$ 920,000</b>	<b>\$ 526,253</b>
	Escalation	11.00%	\$ 442,976	\$ 1,021,731	\$ 411,775	\$ 254,167	\$ 91,448	\$ 821,928	\$ 10,120	\$ 101,200	\$ 57,888
<b>Subtotal</b>			<b>\$ 4,482,032</b>	<b>\$ 10,310,195</b>	<b>\$ 4,155,181</b>	<b>\$ 2,564,774</b>	<b>\$ 922,793</b>	<b>\$ 8,294,000</b>	<b>\$ 102,120</b>	<b>\$ 1,021,200</b>	<b>\$ 584,140</b>
	Contractor General Conditions + Bonds + Insurance + permit	9.00%	\$ 403,383	\$ 927,918	\$ 373,966	\$ 230,830	\$ 83,051	\$ 746,460	\$ 9,191	\$ 91,908	\$ 52,573
<b>Subtotal</b>			<b>\$ 4,885,415</b>	<b>\$ 11,238,112</b>	<b>\$ 4,529,148</b>	<b>\$ 2,795,604</b>	<b>\$ 1,005,845</b>	<b>\$ 9,040,460</b>	<b>\$ 111,311</b>	<b>\$ 1,113,108</b>	<b>\$ 636,713</b>
	Contractor Fee	8.00%	\$ 390,833	\$ 899,049	\$ 362,332	\$ 223,648	\$ 80,468	\$ 723,237	\$ 8,905	\$ 89,049	\$ 50,937
<b>TOTAL CONSTRUCTION - Base Design</b>			<b>\$ 5,276,249</b>	<b>\$ 12,137,161</b>	<b>\$ 4,891,480</b>	<b>\$ 3,019,252</b>	<b>\$ 1,086,312</b>	<b>\$ 9,763,697</b>	<b>\$ 120,216</b>	<b>\$ 1,202,157</b>	<b>\$ 687,650</b>
	\$/SF		\$ 44	\$ 153	\$ 306	\$ 404	\$ 143	N/A	\$ 301	\$ 376	N/A

**Project Total Construction \$ 38,184,173**

Budgeted Fee (percent of construction cost)		7.5%	6.0%	7.5%	7.5%	6.5%	6.5%	6.5%	5.5%	5.5%
Design Fee Budget	\$	395,719	\$ 728,230	\$ 366,861	\$ 226,444	\$ 70,610	\$ 634,640	\$ 7,814	\$ 66,119	\$ 37,821

<b>Total Project Budget per Area</b>	<b>\$</b>	<b>5,671,967</b>	<b>\$ 12,865,391</b>	<b>\$ 5,258,341</b>	<b>\$ 3,245,696</b>	<b>\$ 1,156,923</b>	<b>\$ 10,398,337</b>	<b>\$ 128,030</b>	<b>\$ 1,268,275</b>	<b>\$ 725,471</b>	
<b>Total Project Budget</b>	<b>\$</b>	<b>40,718,430</b>									



# SITework & UTILITY BUDGET

Project Cost Resources, Inc.

Quantity	UoM	Unit Cost	Subtotal	Totals
<b>Sitework &amp; Utility</b>				
<b>Div. 1 General Conditions</b>				
1	ls	\$ 100,000.00	\$ 100,000	\$ 100,000
<b>Div. 2 Existing Conditions</b>				
Site Demolition/Prep				
<b>Div. 3 Concrete</b>				
3,982	sy	\$ 9.00	\$ 35,841	\$ 3,651,994
35,841	sf	\$ 5.50	\$ 197,126	
20	each	\$ 200.00	\$ 4,000	allow
63,572	sy	\$ 11.25	\$ 715,188	
132,500	sf	\$ 3.50	\$ 463,750	
439,650	sf	\$ 5.00	\$ 2,198,250	
1,280	sf	\$ 53.00	\$ 67,840	
<b>Div. 4 Masonry</b>				
<b>Div. 5 Metals</b>				
<b>Div. 6 Wood &amp; Plastics</b>				
<b>Div. 7 Thermal-Moisture Prot.</b>				
<b>Div. 8 Openings</b>				
<b>Div. 9 Finishes</b>				
<b>Div. 10 Specialties</b>				
1	ls	\$ 20,000.00	\$ 20,000	\$ 37,000
20	ea	\$ 650.00	\$ 17,000	
<b>Div. 11 Equipment</b>				
<b>Div. 12 Furnishings</b>				
<b>Div. 13 Special Construction</b>				
2	ea	\$ 15,000.00	\$ 30,000	\$ 30,000
<b>Div. 14 Conveying Systems</b>				
<b>Div. 21 Fire Suppression</b>				
<b>Div. 22 Plumbing</b>				
<b>DOMESTIC WATER</b>				
600	lf	\$ 36.00	\$ 21,600	
600	lf	\$ 43.00	\$ 25,800	
1,500	lf	\$ 85.00	\$ 127,500	
8	ea	\$ 250.00	\$ 2,000	
1	ea	\$ 1,100.00	\$ 1,100	
4	ea	\$ 4,500.00	\$ 18,000	
1	ea	\$ 20,000.00	\$ 20,000	
2,700	lf	\$ 18.00	\$ 48,600	
<b>SANITARY</b>				
3	ea	\$ 4,600.00	\$ 13,800	
1	ea	\$ 50,000.00	\$ 50,000	
2,300	lf	\$ 50.00	\$ 115,000	
600	lf	\$ 85.00	\$ 51,000	
2	ea	\$ 1,100.00	\$ 2,200	
2,900	lf	\$ 20.00	\$ 58,000	
<b>NATURAL GAS</b>				
2	ea	\$ 5,000.00	\$ 10,000	
2	ea	\$ 2,500.00	\$ 5,000	
720	lf	\$ 85.00	\$ 61,200	
720	lf	\$ 18.00	\$ 12,960	
<b>Storm Drainage</b>				
1	allow	\$ 50,000.00	\$ 50,000	
600	lf	\$ 60.00	\$ 36,000	
1	Ea	\$ 5,000.00	\$ 5,000	
600	lf	\$ 26.00	\$ 15,600	
<b>Div. 23 HVAC</b>				
<b>Div. 26 Electrical</b>				
<b>1,695,300</b>				
4	ea	\$ 90,000.00	\$ 360,000	
1,670	lf	\$ 360.00	\$ 601,200	
1	ea	\$ 10,000.00	\$ 10,000	
770	lf	\$ 150.00	\$ 115,500	
2,440	lf	\$ 25.00	\$ 61,000	
65	locations	\$ 2,500.00	\$ 162,500	
16	ea	\$ 10,000.00	\$ 160,000	
3,800	lf	\$ 32.00	\$ 121,600	
1	ea	\$ 3,500.00	\$ 3,500	
<b>Div. 27 Communications</b>				
<b>Div. 28 Electronic Safety and Security</b>				
<b>Div. 31 Earthwork</b>				
<b>38,800</b>				
1,300	cy	\$ 16.00	\$ 20,800	
8,000	sf	\$ 1.00	\$ 8,000	
1	allow	\$ 10,000.00	\$ 10,000	
<b>Div. 32 Exterior Improvements</b>				
<b>264,000</b>				
1	allow	\$ 80,000.00	\$ 80,000	
5,800	lf	\$ 20.00	\$ 116,000	
14	sets	\$ 2,000.00	\$ 28,000	
1	allow	\$ 40,000.00	\$ 40,000	
<b>Div. 33 Utilities</b>				
<b>6,497,454</b>				
			<b>Total Cost of Work</b>	<b>\$ 6,497,454</b>





# MAIN OUTDOOR ARENA BUDGET

Project Cost Resources, Inc.

Main Arena	Quantity	UoM	Unit Cost	Totals
<b>Div. 1 General Conditions</b>				\$ -
<b>Div. 2 Existing Conditions</b>				50,000 \$ 50,000
Demo and clean up of site / haul off / disposal	1	ls	\$ 50,000.00	\$ 50,000.00
<b>Div. 3 Concrete</b>				484,000 \$ 484,000
Foundations - grandstand seating	110	ea	\$ 2,800.00	\$ 308,000.00
Foundations - Stair towers	8	ea	\$ 3,000.00	\$ 24,000.00
Grade beam at Club Seating wall	320	lf	\$ 100.00	\$ 32,000.00
Club Seating wall	1,760	sf	\$ 60.00	\$ 105,600.00
5" slab on grade Club Seating	3,840	sf	\$ 10.00	\$ 38,400.00
<b>Div. 4 Masonry</b>				0 \$ -
<b>Div. 5 Metals</b>				30,800 \$ 30,800
Railing at Stair Wall	320	lf	\$ 40.00	12,800
Stair towers	2	ea	\$ 60,000.00	120,000
Tie rails	600	lf	\$ 30.00	18,000
<b>Div. 6 Wood &amp; Plastics</b>				0 \$ -
<b>Div. 7 Thermal-Moisture Prot.</b>				0 \$ -
<b>Div. 8 Openings</b>				0 \$ -
<b>Div. 9 Finishes</b>				0 \$ -
<b>Div. 10 Specialties</b>				0 \$ -
<b>Div. 11 Equipment</b>				120,000 \$ 120,000
Rodeo Arena Outdoor (Reloc / Reset)	1	ls	\$ 100,000.00	100,000
Concession stand equipment allowance	1	allow	\$ 20,000.00	20,000
<b>Div. 12 Furnishings</b>				0 \$ -
<b>Div. 13 Special Construction</b>				1,817,700 \$ 1,817,700
Seating (uncovered+Blue Moon+Club)	1,044	ea	\$ 350.00	365,400
Seating (covered)	542	ea	\$ 875.00	474,250
VIP / Announcer (12'x24')	5	ea	\$ 43,200.00	216,000
East end grandstand decking	6,000	sf	\$ 100.00	600,000
Club seating	263	ea	\$ 350.00	92,050
Open concourse deck	200	ea	\$ 350.00	70,000
<b>Div. 14 Conveying Systems</b>				220,000 \$ 220,000
Elevators	2	ea	\$ 110,000.00	220,000
<b>Div. 21 Fire Suppression</b>				167,206 \$ 167,206
Fire Sprinkler over bleachers - Dry Pipe	12,862	sf	\$ 6.50	83,603
Fire Sprinkler over bleachers - Dry Pipe Under Seating	12,862	sf	\$ 6.50	83,603
<b>Div. 22 Plumbing</b>				10,000 \$ 10,000
Freeze proof hydrants	10	each	\$ 1,000.00	10,000
<b>Div. 23 HVAC ( Only condition Hosp./Office/IT</b>				0 \$ -
<b>Div. 26 Electrical</b>				232,196 \$ 232,196
MDP - 400A	1	ea	\$ 20,000.00	20,000
Transformer	1	ea	\$ 8,500.00	8,500
Panelboards	2	ea	\$ 5,000.00	10,000
				0
Distribution - Panel Feeders	300	lf	\$ 36.00	10,800
Distribution - Lighting & Power Branch Conduit/Wire	12,862	sf	\$ 3.00	38,586
Lighting	12,862	sf	\$ 5.00	64,310
Arena lighting and drilled piers	8	ea	\$ 10,000.00	80,000
<b>Div. 27 Communications</b>				150,000 \$ 150,000
Public Address Allowance (Design/build)	1	each	\$ 150,000.00	150,000
<b>Div. 28 Electronic Safety and Security</b>				38,586 \$ 38,586
Fire Alarm System (design / build)	25,724	sf	\$ 1.50	38,586
<b>Div. 31 Earthwork</b>				138,500 \$ 138,500
Arena Floor - Dirt	39,000	sf	\$ 1.50	58,500
Building pad Fill 5' (from site)	4,444	cy	\$ 18.00	80,000
<b>Div. 32 Exterior Improvements</b>				30,800 \$ 30,800
<b>Div. 33 Utilities</b>				12,000 \$ 12,000
Fire hydrants	2	Ea	\$ 6,000.00	12,000
				\$ 3,501,788



# BUCKLE CLUB BUDGET

Project Cost Resources, Inc.

Quantity	UoM	Unit Cost	Subtotal	Totals
<b>Buckle Club</b>				
<b>Div. 1 General Conditions</b>				
				\$ -
<b>Div. 2 Existing Conditions</b>				
Demo/Prep Site Area	10,000 sf	\$ 1.00	\$ 10,000	\$ 10,000
<b>Div. 3 Concrete</b>				
Piers	14 ea	\$ 3,300.00	\$ 46,200	\$ 96,950
Pier Caps	14 ea	\$ 1,500.00	\$ 21,000	
Grade Beam (allow)	350 lf	\$ 85.00	\$ 29,750	
<b>Div. 4 Masonry</b>				
CMU - Elevator Shaft	1,200 sf	\$ 21.00	\$ 25,200	\$ 25,200
Brick Veneer - Elevator Shaft		\$ 26.50		
Scaffolding		\$ 4.50		
Exterior Veneer		\$ 27.00		
<b>Div. 5 Metals</b>				
				\$ 716,400
Structural Steel - Framing		\$ 7,200.00	\$ 350,064	
Composite Deck with 4.5" Concrete Fill - Level 1	48.6 ton	\$ 14.00	\$ 680.40	
Roof Decking	7,480.0 sf	\$ 9.00	\$ 67,320	
Miscellaneous Metals	4.9 ton	\$ 8,000.00	\$ 38,896	
Deck Steps w/ Railing	10 riser	\$ 1,500.00	\$ 15,000	
Metal Stairs w/ Railing	60 riser	\$ 1,500.00	\$ 90,000	
Metal Railing at Deck	504 lf	\$ 100.00	\$ 50,400	
<b>Div. 6 Wood &amp; Plastics</b>				
Display Case	20 lf	\$ 420.00	\$ 8,400	\$ 45,300
Milwork Base Counters/Cabinets	40 lf	\$ 450.00	\$ 18,000	allow
Lav Countertop Mens/Womens	20 lf	\$ 270.00	\$ 5,400	
Bar	1 allow	\$ 10,000.00	\$ 10,000	
Wood blocking	1 ls	\$ 3,500.00	\$ 3,500	
<b>Div. 7 Thermal-Moisture Prot.</b>				
Roof Insulation	7,480 sf	\$ 3.00	\$ 22,440	\$ 248,840
Exterior Wall siding	4,500 sf	\$ 22.00	\$ 99,000	
Exterior Wall Sheathing & Insulation	4,500 sf	\$ 20.00	\$ 90,000	
Underside of Deck Insulation	7,480 sf	\$ 4.00	\$ 29,920	
Caulk/Seal	7,480 sf	\$ 1.00	\$ 7,480	
<b>Div. 8 Openings</b>				
3x7 Hollow Metal Doors/Frames/Hardware - Exterior	2 each	\$ 2,300.00	\$ 4,600	\$ 176,350
Double Glass Entry Doors w/ Hardware	2 pair	\$ 6,500.00	\$ 13,000	
Exterior Glazing 25%	1,075 sf	\$ 90.00	\$ 96,750	
Interior Glazing	160 sf	\$ 75.00	\$ 12,000	allow
Overhead doors	6 ea	\$ 4,500.00	\$ 27,000	
Interior Door/Frame/Hardware	10 ea	\$ 2,500.00	\$ 25,000	
<b>Div. 9 Finishes</b>				
				\$ 176,797
<b>PARTITIONS</b>				
Interior Partitions - Gyp	200 lf	\$ 130.00	\$ 26,000	
Gyp Furring - Exterior Wall	250 lf	\$ 70.00	\$ 17,500	
<b>CEILING</b>				
Ceiling Allowance	4,680 sf	\$ 7.00	\$ 32,760	
<b>FLOORS</b>				
Floor Allowance	4,680 sf	\$ 8.00	\$ 37,440	
Restrooms - Ceramic Tile	240 sf	\$ 14.00	\$ 3,360	
Ceramic Base	85 lf	\$ 14.00	\$ 1,190	
Rubber Base	650 lf	\$ 2.50	\$ 1,625	
<b>WALL FINISH</b>				
Wall Tile Wainscot at RR to 6'	528 sf	\$ 14.00	\$ 7,392	
Wood Wall Finish	4,680 sf	\$ 8.00	\$ 37,440	allow
Paint Partitions	6,500 sf	\$ 1.50	\$ 9,750	
Miscellaneous Painting	4,680 sf	\$ 0.50	\$ 2,340	
<b>Div. 10 Specialties</b>				
				\$ 11,000
Toilet Accessories	2 rm	\$ 5,500.00	\$ 11,000	
<b>Div. 11 Equipment</b>				
				\$ -
<b>Div. 12 Furnishings</b>				
				\$ -
<b>Div. 13 Special Construction</b>				
				\$ -
<b>Div. 14 Conveying Systems</b>				
				\$ -
<b>Div. 21 Fire Suppression</b>				
Fire Sprinkler	7,480 sf	\$ 4.00	\$ 29,920	\$ 29,920
<b>Div. 22 Plumbing</b>				
Freeze proof hydrants	2 each	\$ 450.00	\$ 900	\$ 44,160
Water Closet ADA	2 each	\$ 1,300.00	\$ 2,600	
Water Closet Standard	2 each	\$ 1,000.00	\$ 2,000	
Urinal Standard	2 each	\$ 1,000.00	\$ 2,000	
Counter, Mtd Lavatory	4 each	\$ 5,000.00	\$ 20,000	
Sinks (bar?)	1 ls	\$ 1,500.00	\$ 1,500	
Mop Sink	1 each	\$ 550.00	\$ 550	
Rough-in Fixtures	12 each	\$ 280.00	\$ 3,360	
Fixture Carries	7 each	\$ 196.00	\$ 1,372	
Sanitary Waste & Vent	200 lf	\$ 10.00	\$ 2,000	
Gas Piping	200 lf	\$ 10.00	\$ 2,000	
Domestic Water Piping	200 lf	\$ 10.00	\$ 2,000	
Domestic Water Heater	1 allow	\$ 5,000.00	\$ 5,000	
FD, FS, CO's etc	5 each	\$ 460.00	\$ 2,300	
General plumbing allowance - Clean/Test/Label	1 ls	\$ 4,000.00	\$ 4,000	
<b>Div. 23 HVAC</b>				
HVAC System	20 ton	\$ 4,000.00	\$ 80,000	\$ 80,000
<b>Div. 26 Electrical</b>				
				\$ 219,440
Electrical Equipment / Panels / Transformers	7,480 sf	\$ 7.00	\$ 52,360	
Distribution - Motor Feeders	1 ls	\$ 10,000.00	\$ 10,000	
Distribution - Lighting & Power Branch Conduit/Wire	7,480 sf	\$ 6.00	\$ 44,880	
Devices	7,480 sf	\$ 2.00	\$ 14,960	
Lighting	7,480 sf	\$ 1.00	\$ 7,480	
Lighting Controls	7,480 sf	\$ 2.00	\$ 14,960	
<b>Div. 27 Communications</b>				
Public Address Allowance (Design/build)	1 each	\$ 30,000.00	\$ 30,000	\$ 30,000
<b>Div. 28 Electronic Safety and Security</b>				
Fire Alarm System (Design / build)	14,960 sf	\$ 1.00	\$ 14,960	\$ 29,920
Rough-in Conduit/Boxes - Fire Alarm	14,960 sf	\$ 1.00	\$ 14,960	
<b>Div. 31 Earthwork</b>				
Building pad Fill 4'	1,108 cy	\$ 18.00	\$ 19,947	\$ 19,947
<b>Div. 32 Exterior Improvements</b>				
				\$ -
<b>Div. 33 Utilities</b>				
Building hook up to water	1 lsum	\$ 7,500.00	\$ 7,500	\$ 47,000
Building sewer tie-in	1 lsum	\$ 8,500.00	\$ 8,500	
Building hook up to electric	1 lsum	\$ 25,000.00	\$ 25,000	
Building hook up to gas	1 lsum	\$ 6,000.00	\$ 6,000	
<b>Total Cost of Work</b>				\$ 2,009,224



# MULTIPURPOSE PAVILION BUDGET

Project Cost Resources, Inc.

Multi-Purpose Pavilion	Quantity	UoM	Unit Cost	Subtotal	Totals
<b>Div. 1 General Conditions</b>					
Div. 2 Existing Conditions					
Site Demolition/Prep	1	ls	\$ 20,000	\$ 20,000	\$ 20,000
<b>Div. 3 Concrete</b>					
Footings (6'x6'x3')	26	ea	\$ 2,300.00	\$ 59,800	\$ 212,800
Perimeter 1.5'x3' deep grade beam	520	lf	75.00	\$ 39,000	
Grade Beam Under Load Bearing & CMU Walls	200	lf	50.00	\$ 10,000	allow
Slab on grade	16,000	sf	6.50	\$ 104,000	
<b>Div. 4 Masonry</b>					
<b>Div. 5 Metals</b>					
<b>Div. 6 Wood &amp; Plastics</b>					
Display Case	20	lf	\$ 420.00	\$ 8,400	\$ 95,592
Wood trim out - museum and gift shop	2,983	sf	24.00	\$ 71,832	
Milwork - Base Cabinet w/ Countertop	16	lf	460.00	\$ 7,360	
Wood blocking	16,000	sf	0.50	\$ 8,000	
<b>Div. 7 Thermal-Moisture Prot.</b>					
Insulation for PEMB Roof	16,000	sf	4.00	\$ 64,000	\$ 111,320
Insulation for PEMB Wall	7,600	sf	4.00	\$ 30,400	
Insulation ceilings / partitions	5,000	sf	3.00	\$ 15,000	
Caulk/Seal	16,000	sf	0.12	\$ 1,920	
<b>Div. 8 Openings</b>					
Exterior Door/Frame/Hardware - Alum/Glass Entry	4	ea	\$ 4,800.00	\$ 19,200	\$ 149,500
Exterior Door/Frame/Hardware - Single	3	ea	\$ 2,400.00	\$ 7,200	
Interior Door/Frame/Hardware - Single	4	ea	\$ 2,000.00	\$ 8,000	
Interior Door/Frame/Hardware - Double	2	ea	\$ 4,700.00	\$ 9,400	
Overhead doors	22	ea	\$ 5,000.00	\$ 110,000	
<b>Div. 9 Finishes</b>					
<b>PARTITIONS</b>					
Cyn/Metal Stud Partitions	260	lf	\$ 125.00	\$ 32,500	
Partition - Gyp Forming Inside Face of Exterior Wall	290	lf	\$ 80.00	\$ 23,200	
<b>CEILINGS</b>					
Recessed/Kitchen - Gyp	7,000	sf	\$ 11.00	\$ 77,000	
Acoustical Lay-In Tile and Grid	9,000	sf	\$ 6.50	\$ 58,500	
<b>FLOORS</b>					
Sealed / stained concrete	9,000	sf	\$ 5.00	\$ 45,000	
Restroom/Kitchen - Ceramic Tile	7,000	sf	\$ 14.00	\$ 98,000	
Rubber Base	1,010	lf	\$ 2.50	\$ 2,525	
Ceramic Tile Base	500	lf	\$ 14.00	\$ 7,000	
<b>WALL FINISH</b>					
Wall Tile Wainscot at RR to 6'	2,700	sf	\$ 14.00	\$ 37,800	
Paint Partitions	9,200	sf	\$ 1.50	\$ 13,800	
Paint Ceilings	7,000	sf	\$ 1.50	\$ 10,500	
Miscellaneous Painting	16,000	sf	\$ 0.25	\$ 4,000	
<b>Div. 10 Specialties</b>					
Accessories - Toilet Partition - HD/CP	3	ea	\$ 2,250.00	\$ 6,750	\$ 40,450
Accessories - Toilet Partition - Standard	15	ea	\$ 1,850.00	\$ 27,750	
Accessories - Urinal Partition	3	ea	\$ 700.00	\$ 2,100	
Toilet seat cover dispenser	19	each	\$ 65.00	\$ 1,235	
Toilet tissue dispenser, surface, dbl	19	each	\$ 65.00	\$ 1,235	
Fire extinguishers	4	each	\$ 250.00	\$ 1,000	
<b>Div. 11 Equipment</b>					
Concession stand equipment allowance	1	allow	\$ 40,000.00	\$ 40,000	\$ 40,000
<b>Div. 12 Furnishings</b>					
<b>Div. 13 Special Construction</b>					
Pre-engineered metal building	16,000	sf	\$ 31.00	\$ 496,000	\$ 512,160
Wall Liner Panel	2,020	sf	\$ 8.00	\$ 16,160	
Ceiling Liner Panel	-	sf	-	-	
<b>Div. 14 Conveying Systems</b>					
<b>Div. 21 Fire Suppression</b>					
Fire Sprinkler	16,000	sf	\$ 4.00	\$ 64,000	\$ 64,000
<b>Div. 22 Plumbing</b>					
Plum - Water Closet	19	ea	\$ 1,250.00	\$ 23,750	\$ 187,890
Plum - Urinal	3	ea	\$ 1,000.00	\$ 3,000	
Plum - Counter/Mid Levelatory	10	ea	\$ 1,000.00	\$ 10,000	
Plum - Minor Sanitation	1	ea	\$ 2,800.00	\$ 2,800	
Plum - Compartment Sink	1	ea	\$ 3,000.00	\$ 3,000	
Rough-In Fixtures	35	each	\$ 550.00	\$ 19,250	
Fixture Carriers	23	each	\$ 260.00	\$ 5,980	
Sanitary Waste Piping UG	100	lf	\$ 45.00	\$ 4,500	
Trench/Backfill	100	lf	\$ 20.00	\$ 2,000	
Sanitary Waste & Vent	150	lf	\$ 34.00	\$ 5,100	
Gas Piping	1	ls	\$ 1,000.00	\$ 1,000	
Gas Connections at Equipment	150	lf	\$ 38.00	\$ 5,700	
Domestic Water Piping Means	350	lf	\$ 29.00	\$ 10,150	
Piping Insulation	500	lf	\$ 18.00	\$ 9,000	
Water Heaters	1	allow	\$ 7,500.00	\$ 7,500	
FD, FS, CO's etc	1	ls	\$ 1,560.00	\$ 1,560	
General plumbing allowance - Clean/Test/Label	1	ls	\$ 3,500.00	\$ 3,500	
<b>Div. 23 HVAC ( Only condition Hosp./Office/IT</b>					
<b>Div. 26 Electrical</b>					
Electrical Equipment / Panels / Transformers	16,000	sf	\$ 7.00	\$ 112,000	
Distribution - Motor Feeders	16,000	sf	\$ 12,000.00	\$ 192,000	
Distribution - Lighting & Power Branch Conduit/Wire	16,000	sf	\$ 9.00	\$ 144,000	
Devices	16,000	sf	\$ 11.00	\$ 176,000	
Lighting	16,000	sf	\$ 2.00	\$ 32,000	
Lighting Controls	1	each	\$ 45,000.00	\$ 45,000	\$ 45,000
<b>Div. 27 Communications</b>					
Public Address Allowance (Design/build)	1	each	\$ 45,000.00	\$ 45,000	
<b>Div. 28 Electronic Safety and Security</b>					
Fire Alarm System (design / build)	16,000	sf	\$ 2.50	\$ 40,000	\$ 115,200
Rough-in Conduit/Boxes - Fire Alarm	16,000	sf	\$ 7.50	\$ 120,000	
Security System - Devices	16,000	sf	\$ 2.50	\$ 40,000	
Rough-in Conduit/Boxes - Security	16,000	sf	\$ 1.00	\$ 16,000	
<b>Div. 31 Earthwork</b>					
Building pad Fill 4'	2,370	Cy	\$ 18.00	\$ 42,667	\$ 42,667
<b>Div. 32 Exterior Improvements</b>					
Rollards	44	allow	\$ 500.00	\$ 22,000	\$ 30,260
Stewalk Allowance - Concrete	1,500	sf	\$ 5.50	\$ 8,250	allow
<b>Div. 33 Utilities</b>					
Building hook up to water	1	ls/um	\$ 6,500.00	\$ 6,500	\$ 51,500
Sand / water separator	-	Ea	\$ 7,500.00	\$ -	
Fire hydrants	1	Ea	\$ 6,000.00	\$ 6,000	
Building sewer tie-in	1	ls/um	\$ 10,000.00	\$ 10,000	
Building hook up to electric (in site)	1	ls/um	\$ 25,000.00	\$ 25,000	
Building hook up to gas (in site)	1	ls/um	\$ 10,000.00	\$ 10,000	
<b>Total Cost of Work</b>					\$ 3,210,354



# EQUIPMENT BARN & LANDSCAPE BUDGETS

Project Cost Resources, Inc.

Equipment Barn	Quantity	UoM	Unit Cost	Subtotal	Totals
<b>Div. 1 General Conditions</b>					
Site Demolition/Prep	1	ls	\$ 16,000	\$ 16,000	\$ 16,000
<b>Div. 2 Existing Conditions</b>					
<b>Div. 3 Concrete</b>					
Footings	18	ea	\$ 2,300.00	\$ 41,400	\$ 41,400
Reinmer Grade Beam	404	lf	\$ 68.00	\$ 27,472	\$ 27,472
Interior Grade Beam	50	lf	\$ 56.00	\$ 2,800	\$ 2,800
3" Slab on grade	7,600	sf	\$ 6.50	\$ 49,400	\$ 49,400
<b>Div. 4 Masonry</b>					
<b>Div. 5 Metals</b>					
<b>Div. 6 Wood &amp; Plastics</b>					
Wood blocking	1	ls	\$ 5,000.00	\$ 5,000	\$ 5,000
<b>Div. 7 Thermal/Moisture Prot</b>					
Insulation for FEMB Wall	7,600	sf	\$ 2.00	\$ 15,200	\$ 15,200
Insulation for FEMB Wall	6,400	sf	\$ 3.00	\$ 19,200	\$ 19,200
Caulk/Seal	7,600	sf	\$ 3.80	\$ 28,880	\$ 28,880
<b>Div. 8 Openings</b>					
3x7 Hollow Metal Doors/Frames/Hardware - Exterior	3	ea	\$ 6,900.00	\$ 20,700	\$ 20,700
OH Door	4	each	\$ 6,500.00	\$ 26,000	\$ 26,000
3x7 Interior Door/Frames/Hardware - Restroom Spt	2	each	\$ 2,100.00	\$ 4,200	\$ 4,200
<b>Div. 9 Finishers</b>					
<b>PARTITIONS</b>					
Restroom Partition - Cym/MS Framing	52	lf	\$ 110.00	\$ 5,720	\$ 5,720
Exterior Wall Framing at Restroom	24	lf	\$ 70.00	\$ 1,680	\$ 1,680
<b>CEILING</b>					
Restroom - Gyp	126	sf	\$ 11.00	\$ 1,386	\$ 1,386
<b>FLOORS</b>					
Storage Area & Restrooms - Sealed Concrete	7,600	sf	\$ 3.00	\$ 22,800	\$ 22,800
Rubber Base	64	lf	\$ 192	\$ 12,288	\$ 12,288
<b>WALL FINISH</b>					
Paint Partitions	560	sf	\$ 1.50	\$ 870	\$ 870
Paint Ceilings	126	sf	\$ 1.50	\$ 189	\$ 189
Miscellaneous Painting	7,600	sf	\$ 0.15	\$ 1,140	\$ 1,140
<b>Div. 10 Specialties</b>					
Toilet seat cover dispenser	2	each	\$ 85.00	\$ 170	\$ 170
Toilet tissue dispenser, surface, dbl	2	each	\$ 170	\$ 340	\$ 340
Fire extinguishers	3	each	\$ 250.00	\$ 750	\$ 750
Hand sanitizer	3	each	\$ 300.00	\$ 900	\$ 900
Spill response kit	2	each	\$ 140	\$ 280	\$ 280
Mirror, 18"x24", 3/4" ss square frame	2	each	\$ 300.00	\$ 600	\$ 600
Grab Bar Sat	2	each	\$ 120.00	\$ 240	\$ 240
<b>Div. 11 Equipment</b>					
<b>Div. 12 Furnishings</b>					
<b>Div. 13 Special Construction</b>					
Pre-engineered metal building	7,600	sf	\$ 25.00	\$ 190,000	\$ 190,000
Wall Liner Panel	3,200	sf	\$ 2.00	\$ 6,400	\$ 6,400
<b>Div. 14 Conveying Systems</b>					
<b>Div. 21 Fire Suppression</b>					
Fire Sprinkler	7,600	sf	\$ 4.50	\$ 34,200	\$ 34,200
<b>Div. 22 Plumbing</b>					
Freeze proof hydrants	4	each	\$ 450.00	\$ 1,800	\$ 1,800
Water Closet Standard	2	each	\$ 1,150.00	\$ 2,300	\$ 2,300
Wall Mounted Lavatory	2	each	\$ 2,000.00	\$ 4,000	\$ 4,000
Rough-in Fixtures	4	each	\$ 550.00	\$ 2,200	\$ 2,200
Fixture Carriers	4	each	\$ 225.00	\$ 900	\$ 900
Sanitary Waste Piping UG	50	lf	\$ 45.00	\$ 2,250	\$ 2,250
Leachbackfill	60	lf	\$ 20.00	\$ 1,200	\$ 1,200
Sanitary Waste & Vent	60	lf	\$ 40.00	\$ 2,400	\$ 2,400
Gas Piping	250	lf	\$ 34.00	\$ 8,500	\$ 8,500
Gas Connections at Equipment	3	ea	\$ 250.00	\$ 750	\$ 750
Domestic Water Piping Branch	300	lf	\$ 28.00	\$ 8,400	\$ 8,400
Piping Insulation	300	lf	\$ 15.00	\$ 4,500	\$ 4,500
Connect to Domestic Utility	1	ls	\$ 550.00	\$ 550	\$ 550
Water Heaters - Instant 3kW	1	each	\$ 1,100.00	\$ 1,100	\$ 1,100
FD, FS, CO's etc	2	each	\$ 550.00	\$ 1,100	\$ 1,100
General plumbing allowance - Clean/Test/Label	1	ls	\$ 1,200.00	\$ 1,200	\$ 1,200
<b>Div. 23 HVAC (Only condition Hosp./Office/IT)</b>					
Gas Unit Heater	3	each	\$ 1,800.00	\$ 5,400	\$ 5,400
Piping (see plumbing)	2	ea	\$ 380.00	\$ 760	\$ 760
Exhaust Fan Family RR Inline 100 cfm	1	ls	\$ 500.00	\$ 500	\$ 500
<b>Div. 24 Electrical</b>					
Transformer	1	ea	\$ 8,500.00	\$ 8,500	\$ 8,500
Panelboards	1	ea	\$ 5,000.00	\$ 5,000	\$ 5,000
Distribution - Panel Feeders	100	lf	\$ 36.00	\$ 3,600	\$ 3,600
Distribution - Motor Feeders	400	lf	\$ 25.00	\$ 10,000	\$ 10,000
Distribution - Lighting & Power Branch Conduit/Wire	7,600	sf	\$ 3.50	\$ 26,600	\$ 26,600
Devices	1	ls	\$ 3,500.00	\$ 3,500	\$ 3,500
Lighting	7,600	sf	\$ 6.00	\$ 45,600	\$ 45,600
Lighting Controls	7,600	sf	\$ 1.00	\$ 7,600	\$ 7,600
<b>Div. 27 Communications</b>					
<b>Div. 28 Electronic Safety and Security</b>					
Fire Alarm System	7,600	sf	\$ 2.25	\$ 17,100	\$ 17,100
Security System - Devices	7,600	sf	\$ 1.00	\$ 7,600	\$ 7,600
Rough-in, Conduit/Boxes - Security	7,600	sf	\$ 0.25	\$ 1,900	\$ 1,900
<b>Div. 31 Earthwork</b>					
Building pad Fill 3'	1,200	cy	\$ 18.00	\$ 21,600	\$ 21,600
<b>Div. 32 Exterior Improvements</b>					
Bollards at Doors	6	each	\$ 500.00	\$ 3,000	\$ 3,000
<b>Div. 33 Utilities</b>					
Building hook up to water	1	ls	\$ 5,000	\$ 5,000	\$ 5,000
Fire hydrants	6	ea	\$ 6,000	\$ 36,000	\$ 36,000
Building sewer tie-in	1	ls	\$ 10,000	\$ 10,000	\$ 10,000
Building hook up to electric (in site)	1	ls	\$ 10,000	\$ 10,000	\$ 10,000
Building hook up to gas (in site)	1	ls	\$ 5,000	\$ 5,000	\$ 5,000
<b>Total Cost of Work 1</b>					<b>\$ 722,995</b>

Landscaping	Quantity	Units	Unit Price	Total
<b>LANDSCAPE &amp; SOIL PREPARATION</b>				
Canopy Trees (2" Cal.)	50	EA	\$ 600.00	\$ 30,000
Ornamental Trees (2" Cal.)	6	EA	\$ 400.00	\$ 2,400
Evergreen Trees (6" HL)	12	EA	\$ 800.00	\$ 9,600
Tree Shrub (6" HL)	10,991	SF	\$ 1.00	\$ 10,991
Tree Shrub (6" HL)	100	LF	\$ 3.75	\$ 375
Shade Canopy over Vendor Area	1	LS	\$ 7.00	\$ 7.00
Concrete paving (4" thickness, 4500 psi, standard gray, light broom)	-	SF	\$ 7.00	\$ -
Public Art Interpretive Signage Element at Museum Gift Shop	1	LS	\$ 45,000.00	\$ 45,000.00
Public Table (Vendor Area)	7	EA	\$ 3,000.00	\$ 21,000.00
Trash Receptacle	5	EA	\$ 1,250.00	\$ 6,250.00
3 Rail fence	1,683	LF	\$ 50.00	\$ 84,150.00
Festoon Lighting (Vendor area)	305	LF	\$ 50.00	\$ 15,250.00
Bike Rack	10	EA	\$ 350.00	\$ 3,500.00
LED Monument Sign	1	EA	\$ 125,000.00	\$ 125,000.00
Entrance Atrium	1	EA	\$ 65,000.00	\$ 65,000.00
Drop Irrigation	100	LF	\$ 1.00	\$ 100
Irrigation	23,179	SF	\$ 1.50	\$ 34,768.50
<b>Total Cost of Work 2</b>				<b>\$ 457,610.84</b>

Total Cost of Work \$ 457,610.84



# 2022 STAKEHOLDERS MEETING

- Yavapai County Fair
- Arizona Equifest & Legacy Ranch Horse Sale
- City of Prescott
  - Recreational Services/Police/Fire
  - Tourism Office
  - Chamber of Commerce
  - Community Outreach







## 2022 STAKEHOLDER'S MEETING

**To:** Prescott Frontier Days Family  
**From:** Glen Calvert  
**Project:** Prescott Frontier Days Rodeo

### 2022 Stakeholders Meeting:

Glen Calvert, Priefert  
John Birkey, Norris Design  
Greg Mengarelli  
Michael Taylor, MTAI

### Yavapai County Fair

**Meeting Attendees:** Rosie Darby, Levi Darby, Chris Graff, Gary Warren

#### Information:

- Second longest running fair in Arizona
- Fairground began 1913 / Fair at site since 2012
- 300 head of large show stock are expected plus 300 head of small animals
- Small stock has their own show arena in (West) Barn B with bleachers
- 220 Sheep / Goats / Pigs; 30 Cattle
- Freeman Building used for Photography and Fine Arts
- 5,000 per day, 15,000 total, 30,000 last year
- Vendor trailers get fenced in at fair, cars park outside of that fence
- Public comes primarily for the carnival

#### Arena Event(s):

- Junior PRCA bull riding
- Friday Family fun events; candy, greased pig races
- Saturday / Sunday Grand Congress
- Saturday night Ranch Rodeo
- Two stock shows with beef (300), sheep (300), swine (300), goats (300)

#### Event Dates:

- September 8 thru 11, 2022

#### Primary Needs:

- Chris recommends "bridge" be enclosed to deter guests from standing on it to watch rodeo
- Suggested angling "bridge" to allow Blue Moon deck to maintain visual connection to arena
- Maybe move Buckle Club into Northwest corner of arena with a covered deck on the West to extend Blue Moon deck
- Capitalize on "Arizona's Christmas City"
- Look for alternative locations other than courthouse square for events
- An Event Center could host many of the Chamber events
- Commercial vendor space under cover where temporary bleachers are
- Can't use tarmac behind bleachers since there isn't a transition between there and the ticket booth
- Portable stage for bands
- Barn for 5x5 pens in area where large tents are
- Show barns and wash racks
- Power for food court (in process with APS)
- Site / parking lighting
- Address the grade change at East end at new restrooms, ramp to promote guest flow

- A water standpipe near the parking would be a good idea
- RV spots are needed along East end of property with power and water only
  - MF-H zoning currently does not allow RV Parks (RV storage by conditional use permit only)

### Prescott Frontier Days Rodeo - Master Plan

#### Site Walk:

- Sewer line has 1' fall and doesn't function properly
- Improvements to meeting space at Freeman Building
- Pay to Park at white shed
- Spring needs French drain
- City Evidence Building
- Former Racetrack
- Paddock aesthetic to incorporate into Buckle Club and Justin Room
- Signs on tin panels
- Walls painted and used as perimeter of arena
- Desire to know the arena on TV and where you are
- 400-500 people Buckle Club upgrade; \$500k annual income
- Incorporate 1888 Buckle Club into name and signage
- Look at Cheyenne's new building, nice place for cowboys to be treated
- Showers in the Justin Room aren't used much, problems with sanitation at events

### Arizona Equifest & Legacy Ranch Horse Sale

**Meeting Attendees:** Mike Olsen, Cheyenne Brown, Rick and Sarah Kieckhefer

#### Information:

- Olsen "bucks" program (auction for play money) for store purchases
- Olsen's "Family Fued"
- Olsen's sponsors the rodeo with feed and accessories

#### Activities:

- Arizona Equifest
  - 3 day event (Friday thru Sunday), 15 year history
  - 2,500 to 3,000 attendees
  - Event has been Free for years / Sponsors cover expenses
  - Diamond 4 Cattle Co, Campwood Cattle Company
  - Sorting, Barrel Racing - final in series, 100-200 runs
  - 400-500 Team roping teams
  - 50-75 vendors under grandstand - 10x10 spots
  - Tack "swap" for trading tack
  - Purina Supply Feed
  - 5 food trucks - they don't want people to have to wait in line for food
  - Local draw
  - Clinicians on Friday, attendees pay to attend
  - Rodeo does bar service
  - Arena crowns in the middle
  - Three phase power is available on the East side of property
- Legacy Ranch Horse Sale (Rick and Sarah were competitors)
  - Sale - Saturday night, preview Saturday, East end of arena
  - 30-35 horses at Horse Sale; 3 ranches - sale of bred and broke horses
  - Two ranches participate: K4 and Dominion
  - Only concessions used during event - they've had a small vendor area in past
  - Clinics with various pro's, barrel racer, Amberley Snyder, etc.
- Police Dog Show / Stock dog show, agility show
  - Area for dog demonstration at the pavilion
- RHAA Ranch Horse Association of America
- Equifest Finals



## STAKEHOLDERS MEETING NOTES (continued...)

### Event Dates:

- Mid-September

### Event Attendance:

- 2500-3000

### Primary Needs Equifest:

- Needs 2 arenas with multiple entries/team (100-200 people)
- Would need horse stalls nearby with good footing
- Needs seating in larger arena
- West arena - problems
- Vendor/food space - vendor tents work "ok"
- Provide a few bleachers under covered arena
- Easy access restrooms in covered arena
- Announcer booth should be 50% bigger
- Hard to see roping chutes when looking West

### Primary Needs Legacy Horse Sale:

- Need ability to provide sale ring and seating in covered arena for sale
- Everything needs to be covered, including decks
- North decks / seating should be ticketed separately from General Admission
- Covered/indoor arena with seating for horse sale
- Maybe soften the straight end of the arena to provide more seating
- Build to 80% occupancy, not for Saturday nights, probably 2,000 additional seats
- 2,000 seats equals 14 toilet / urinal for men and 25 toilets for women
- Existing restrooms only accommodate existing grandstand seating
- Need secretary's office and maybe a meeting space
- In arena building, have concessions near arena and announcers booth high up looking into arena
- SES's should be to the North if possible
- Museum or Hall of Fame and shop for merchandise may be included in the pavilion
- Seat 200 at tables inside the Buckle Club for dinner

### How can the Rodeo grounds be improved while staying true to the history of the "World's Greatest Rodeo"?

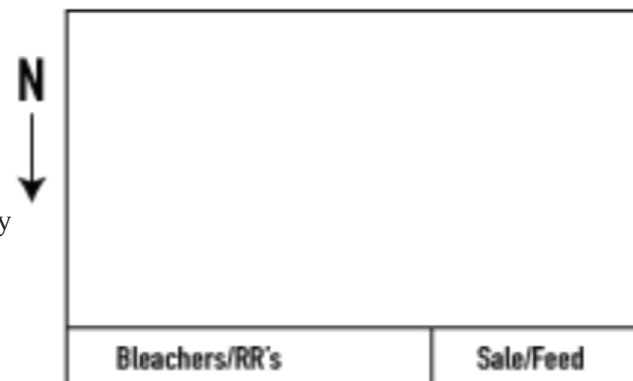
- Additional seating, permanent restrooms, improved grandstands while keeping the historical aspect; the current location is key for history

### Would this project like to team up with any local organizations?

- Museum

### Storage for Feed and Hay:

- Seni hay, 40 bags sweet feed per day
- Facility for storage - in barn?
- Office in barn?
- Accessibility to cowboy country
- Carve out area for Olsen's feed in covered arena
- Secured multi-use storage space, sale area
- Vole Rodeo Company - stock barn with feed and hay
- Hay barn would be stocked prior to the rodeo
- 12 square bales of hay (grass and alfalfa),
- 10 pallets of grain
- Hay barn 1' above grade on concrete with security
- 14' tall for clearance



## City of Prescott - Mayor Phil Goode

- What is it going to cost
- An underutilized asset
- Must have top-notch facility to keep good competitors coming back

### Arena Needs:

- Lease with the City requires equestrian use and related events unless approved by City Council
- 6,000 seating goal
- Need suites on North side - a seating area can be first aid / lost & found
- Walkway to restroom
- "Extend" the arena - don't move it
- No signage on panels
- Needs two video boards

### Address Traffic Issues:

- Parking concerns / parking pass
- Maybe designate parking at time of ticket purchase to show which gate to go to and where to park
- Address "noise"
- Curb appeal - good design at edges
- Alter approach at Rodeo Drive / Miller Valley. Move light pole, increase radius of the inside curb
- Offsite shuttle consideration
- High velocity monsoon consideration
- Xeriscape follow City codes for landscape minimums
- Keep water demands in mind with plant palette selection
- Move West access North ??? Road
- Street Closures

### Master Plan:

- Address noise, light, traffic, and curb appeal
- Landscaping - drought, low water
- Water demands - fixtures



## STAKEHOLDERS MEETING NOTES (continued...)

### Recreational Services: Police / Fire / City of Prescott

**Meeting Attendees:** Joe, John, Brian (Parks & Recreation), Tom Knapp (Fire Chief)

- Joe Baynes has lease information for building and parcel use - stressed neighborhood inclusion
- Verify lease land for use by project? YES - use of all the land is available for planning
- Ron Alsley - Utility Manager
- Need to have Stakeholder involvement
- Need neighborhood input
- Keep equestrian "theme"
- Concern from Fire about having multiple events at same time - might not be best
- Okay to show parking in area to the South of Rodeo Drive
- Good flow / all-weather access around building
- Concerned about one-way traffic
- Combine fire lane with access through site - Fire access roads can also be service roads
- Fire access roads must be all-weather, 26' wide with 16' wide gates
- Enclosed will need sprinklers - 150' hose length - 100 feet from fire dept. Connection
- Sprinklers may not be required if open and agricultural use
- Hydrants around perimeter (within 100' FDC); 30A South of horse barn
- 18" frost depth
- Sewer system needs upgrade and study
- Incorporate sewer into new buildings (restrooms)
- Can IT/Code Mobiles be located? Can it be shown on Master Plan
- Green room required
- 15 total RV's (water, electric) 5 sewer and plugs; water and power at remainder
- Investigate options for utility tie ins
- Maybe eliminate Cowboy restroom and incorporate into new pavilion
- Buildings where City I.T. is - may be option to move and create more parking
- CLM property to East may be option to add to rodeo grounds

### Tourism Office

**Meeting Attendees:** Ann Steward, Manager

#### **Events:**

The Tourism Office does not coordinate any events, however, they do sponsor and support multiple city events through Bed Tax and The Tourism Advisory Committee (TAC); TAC and Prescott Area Arts and Humanities (PAAHC) Grant Program.

A few examples are: various seminars, conferences and board retreats hold events in Prescott, as well as grant awardee events such as; Cowboy Poets, The Bluegrass Festival, Big Sting Country Music Festival, The Film Festival, Prescott Indian Art Market, The Long Riders, Hope Fest, Prescott Area Artist Studio Tour, and the Arizona Philharmonic.

#### **Current Activities:**

Music performances, art shows and fairs, theatrical performances, sporting tournaments and events, work/corporate seminars, training and conferences, etc.

#### **Event Dates:**

Year-round

#### **Facility Requirements:**

Indoor and outdoor, sometimes lodging opportunity on property or nearby. If no lodging property on property, transportation may be required.

### Prescott Chamber of Commerce

**Meeting Attendee:** Sheri Heiney (President / CEO)

#### **Information / Local Amenities:**

- Economic impact from rodeo = \$33.5 million
- Economic impact from art shows = \$2 million
- 100' x 200' pavilion on the East
- 29,000 draw over the weekend / 150 vendors
- Maybe looking for a new location
- County raised fees
- Prescott Resort - 400 max; 200 best Circus
- 15-minute walk to town
- 500 miles of mountain bike and hiking trails
- Garage doors spilling out onto Plaza

#### **Events / Activities:**

- Community events in the plaza / art shows
- Bluegrass Festival (week before rodeo)
- Arizona's Christmas City
- \$150k grant for Kringle German Market (new event)
- Pavilion Plaza Health Fair / other conventions, summer
- Farmers Market every Saturday (presents conflicts)
- Prom Events, "Plaza" Fest, Veteran events are big draw

#### **Event / Activity Attendance:**

- Art shows draw 28,000 people + \$2.5 million
- Art show draws 15,000/day for 2 day period
- 144 artists / vendors
- 2-3 days

#### **Primary Needs:**

- Old Elms being replaced in courthouse plaza
- Sports could be introduced into the market
- Highlight the outdoors
- Sunset Plaza grass and trees
- Fill mid-week
- Asphalt millings coming

#### **Specific Building Features (MUST HAVE):**

- Outdoor space
- Paved parking, lighting?
- Need open floor space with break-out rooms
- Catering kitchen and Meeting space
- 500 people at table
- Restrooms

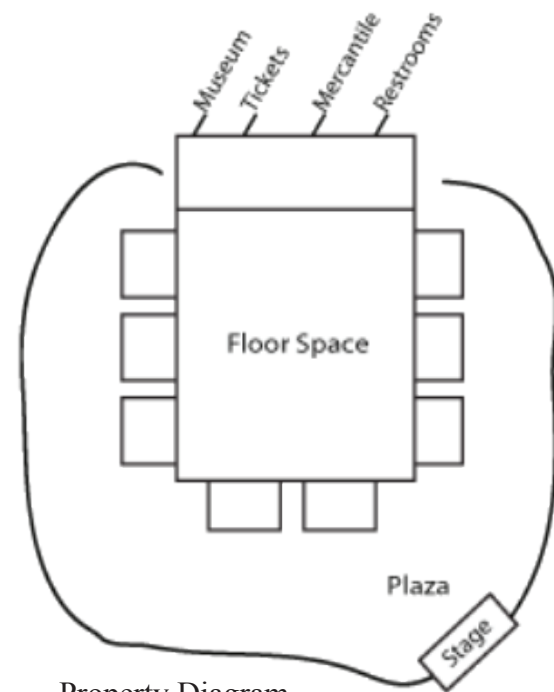


## STAKEHOLDERS MEETING NOTES (continued...)

### Community Outreach

**Contact:** Ann, Brian, John, Amy

- In Person:
- Off-site parking
- Permitted parking use / shuttle
- Livestock trailer parking
- \* Noise, Traffic, Lights (down lights - lights cannot leave the site) \*
- Need sound / noise control - improve PA system
- Develop potential of ground
- Careful assessment of on-site parking
- Roughly 40 acres (see diagram below)
- Need to improve West entrance - signage, monument, landscape
- Ian Mattingly, PE (Prescott City Traffic Engineer) to look at turn lane, widening on Gail Gardner
- Traffic signage for preferred - wayfinding, branding "Russell Recreational Trail 1888"
- Cat Moody - Historical Preservationist for Prescott, GIS overseer
- Treat as a "regional" asset



Property Diagram



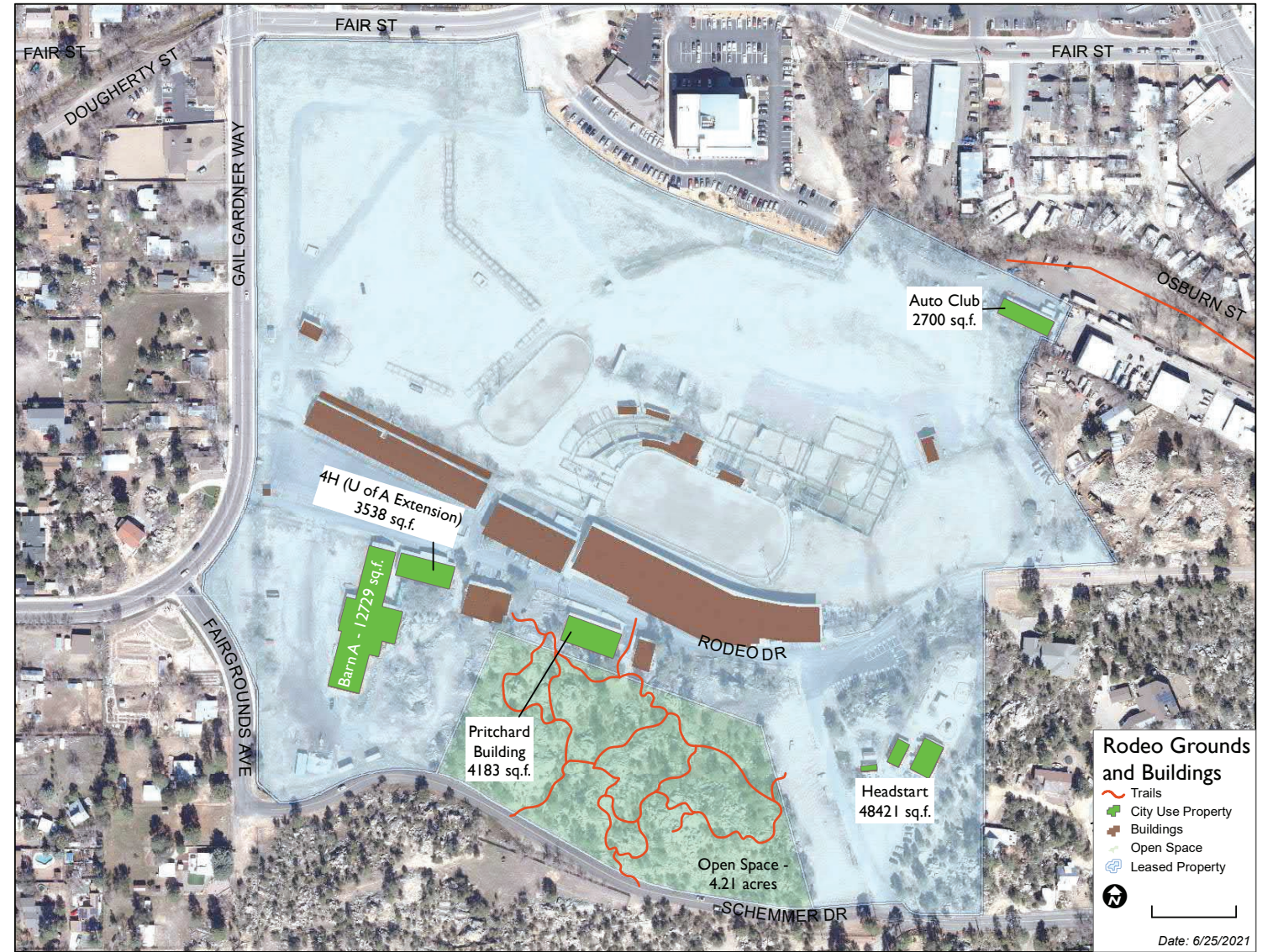
# PROGRESS SKETCHES

- Initial Site Map and Leased Area
- Site Options
- Bleacher Section Markup
- Traffic Circulation



PROGRESS SKETCHES: Initial Map & Leased Area

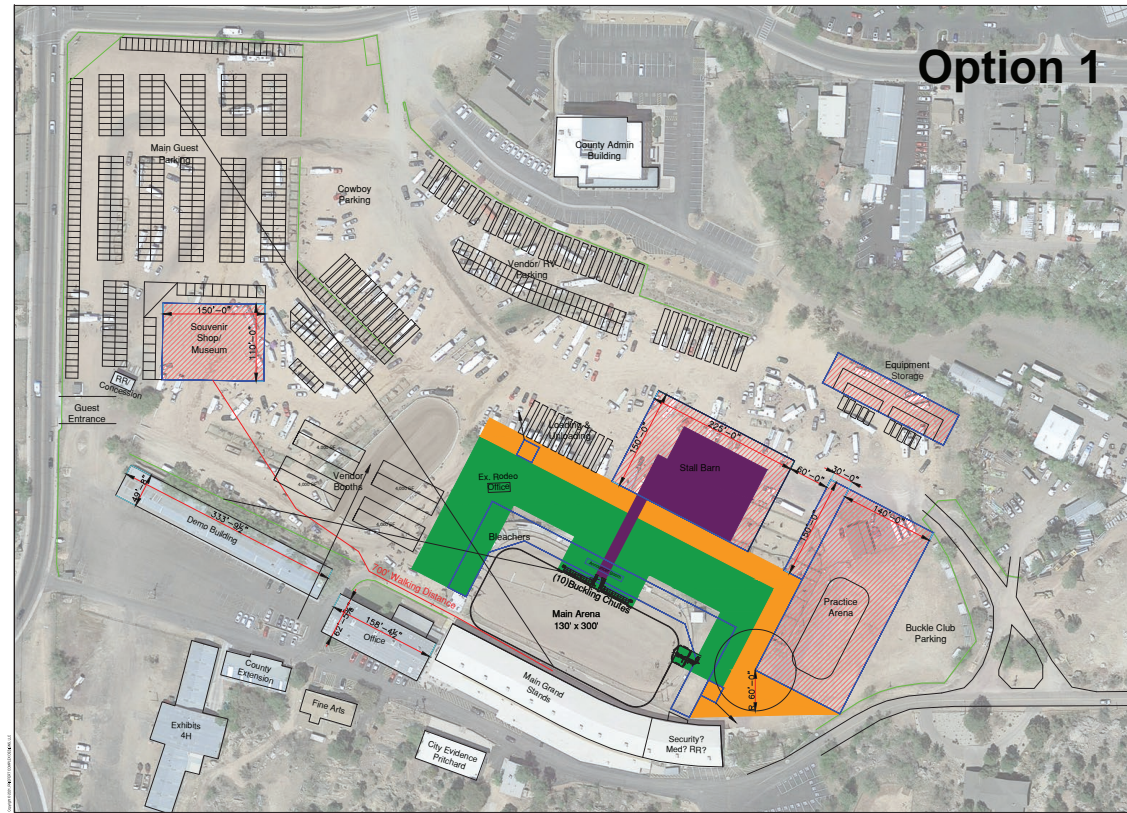
July 2022





# PROGRESS SKETCHES: Site Options

August 2022

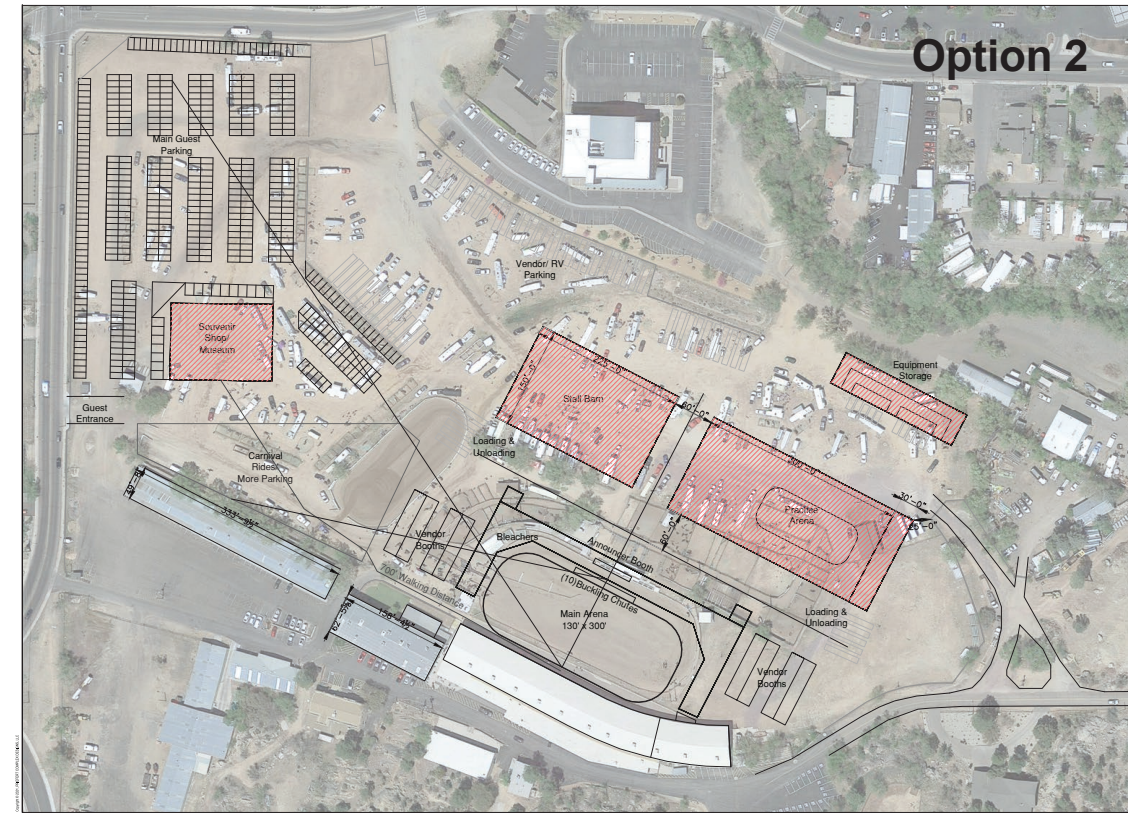


### Option 1

**Priefert**  
COMPLEX DESIGNS  
PROFESSIONAL LANDSCAPE ARCHITECTURE

FRONTIER RODEO  
Prescott, AZ

0 20 40 80  
FEET

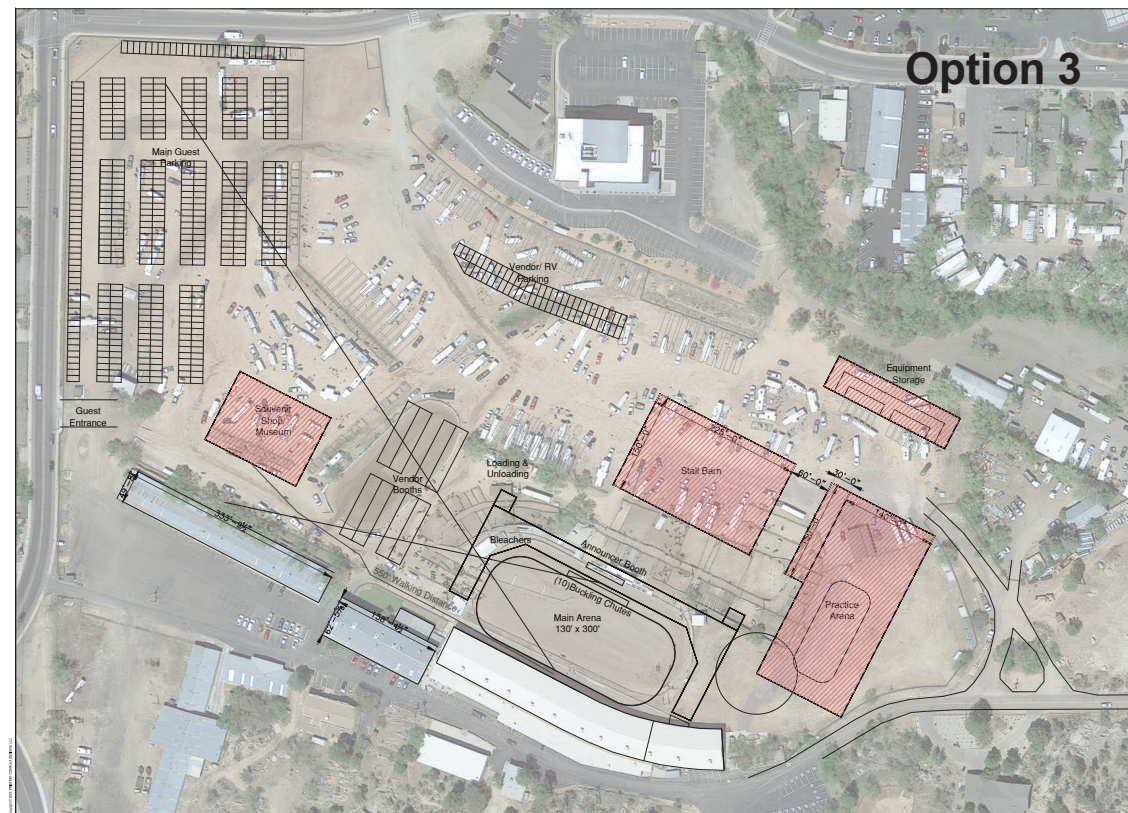


### Option 2

**Priefert**  
COMPLEX DESIGNS  
PROFESSIONAL LANDSCAPE ARCHITECTURE

FRONTIER RODEO  
Prescott, AZ

0 20 40 80  
FEET



### Option 3

**Priefert**  
COMPLEX DESIGNS  
PROFESSIONAL LANDSCAPE ARCHITECTURE

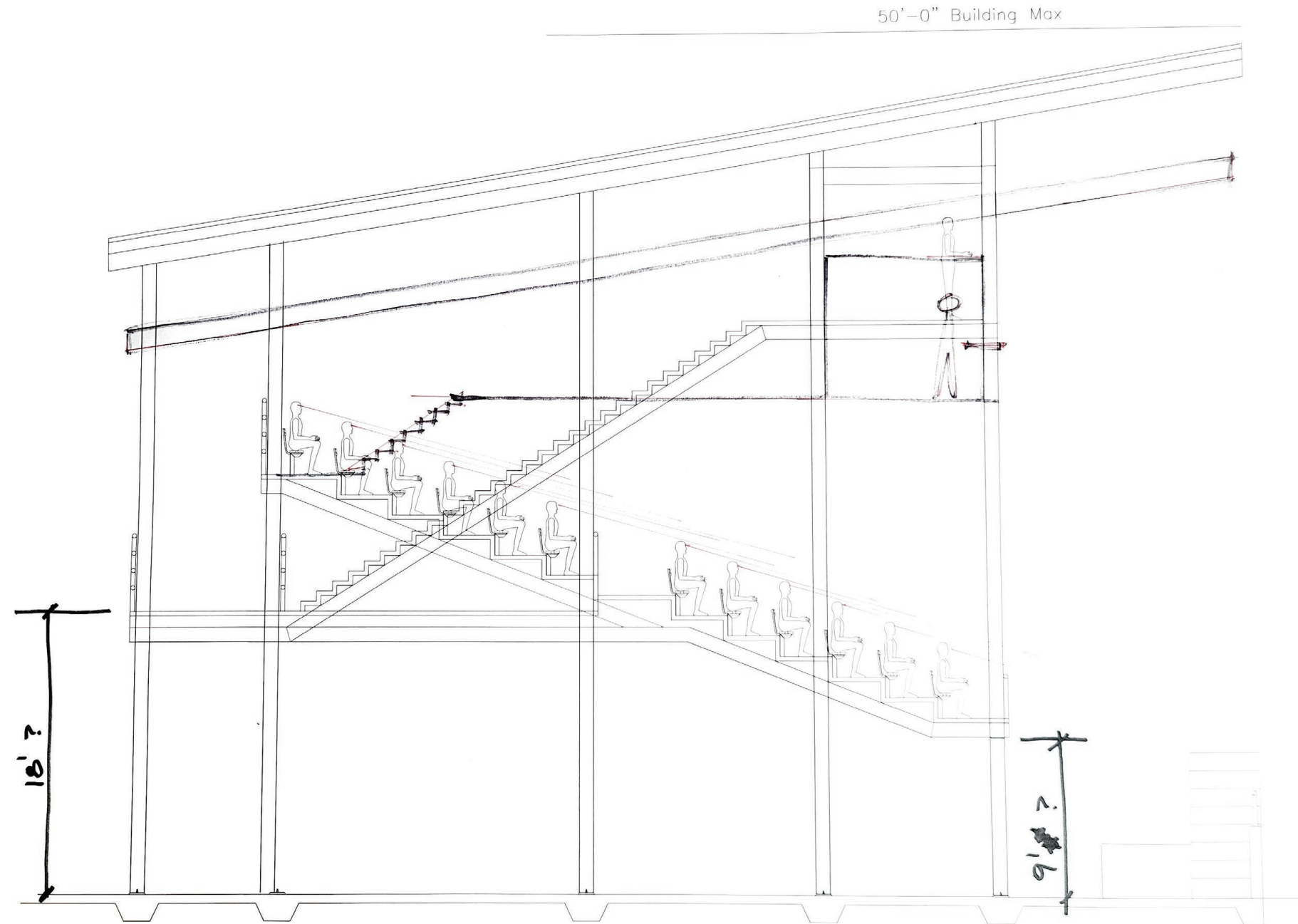
FRONTIER RODEO  
Prescott, AZ

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PROGRESS SKETCHES: Bleacher Section Markup

August 2022

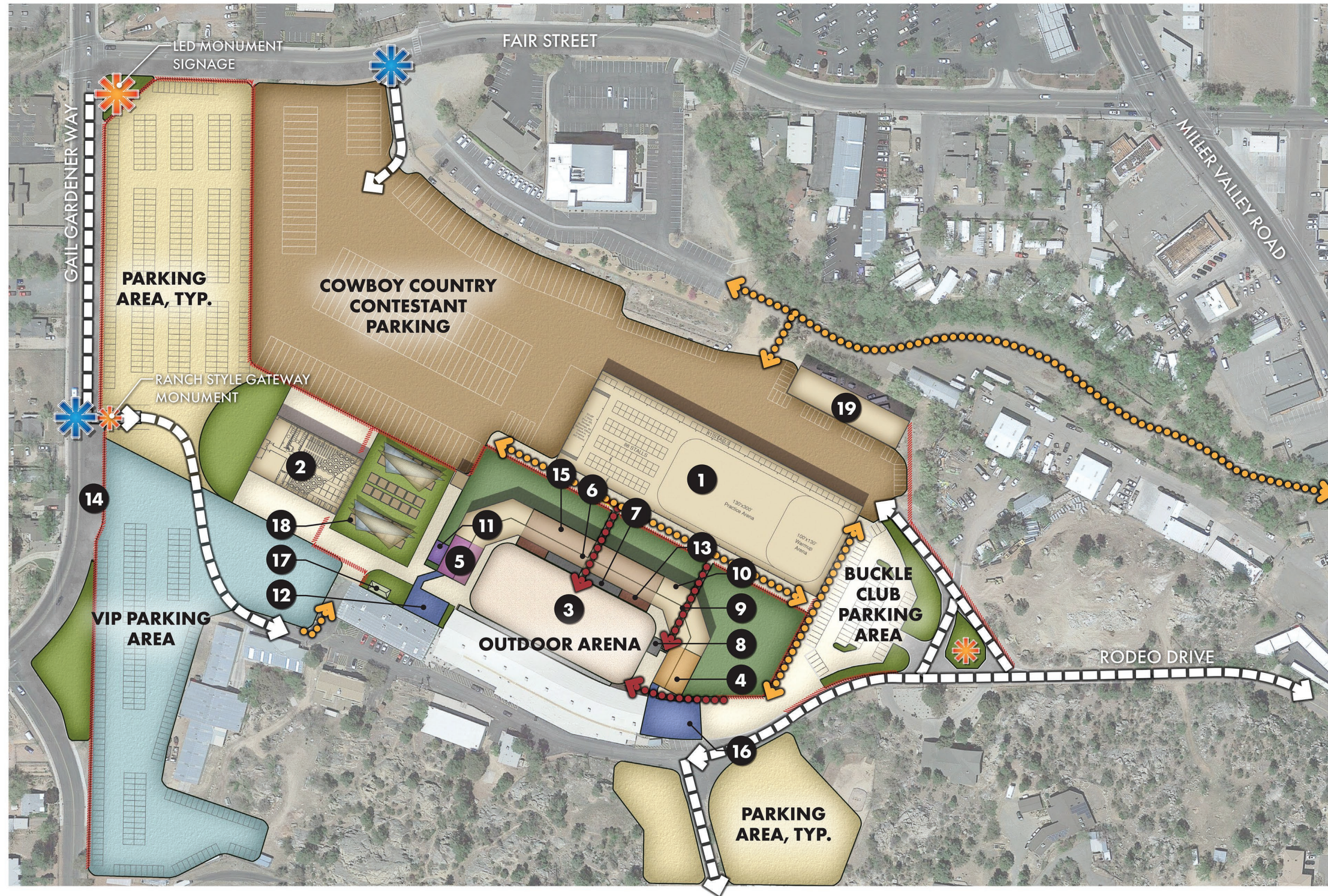






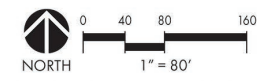
# PROGRESS SKETCH: Traffic Circulation

September 2022



## LEGEND

- 1 MULTI USE INDOOR ARENA
- 2 MULTI-PURPOSE PAVILION/ MUSEUM & GIFT SHOP
- 3 OUTDOOR ARENA
- 4 BUCKLE CLUB RESTUARANT AND TIERED SEATING
- 5 FRONTIER CLUB
- 6 ANNOUNCER BOOTH
- 7 BUCKING CHUTES
- 8 ROPING CHUTES
- 9 UPPER CONCOURSE
- 10 BLEACHER SEATING
- 11 PROPOSED RESTROOM
- 12 BLUE MOON SALOON
- 13 COMPETITORS SEATING
- 14 PROPOSED TURN LANE
- 15 JUSTIN ROOM
- 16 SECURITY, MEDICAL, CONCESSION, RESTROOMS
- 17 HOSPITALITY TENT
- 18 VENDOR TENTS WITH SHADE SHELTER
- 19 EQUIPMENT BARN
- PEDESTRIAN CIRCULATION
- ARENA CIRCULATION
- THEMED FENCING



\*THIS PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE

